

**Heritage Impact Assessment  
for Revitalisation of the Old Tai Po Police Station  
at No. 11, Wan Tau Kok Lane, Tai Po**

**BACKGROUND**

Under the Batch II of the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme), the Secretary for Development granted an approval-in-principle in 2010 the conservation proposal for adaptive reuse of Old Tai Po Police Station (OTPPS) at No. 11, Wan Tau Kok Lane, Tai Po as “Green Hub for Sustainable Living” submitted by Kadoorie Farm and Botanic Garden Corporation (KFBG).

2. OTPPS was constructed in 1899 as the first police headquarters in the New Territories. It comprises three single-storey historic buildings, namely the Main Building, the Staff Quarters Block, the Canteen Block, and some open space. It was accorded a Grade 1 status by the Antiquities Advisory Board in December 2009. It will be conserved and revitalised to provide services and facilities such as an information and resource centre, an exhibition area, a training room, a community co-op market, guestrooms, the “Eat Well Canteen”, a cookery training area, three folk art and craft workshops, and thematic landscaped areas.

**HERITAGE IMPACT ASSESSMENT (HIA) / CONSERVATION  
MANAGEMENT PLAN (CMP)**

3. According to Technical Circular (Works) No. 6/2009 regarding the HIA mechanism introduced by Development Bureau (DEVB) and the Antiquities and Monuments Office (AMO)’s Guidance Note to HIA submission for the Revitalisation Scheme, an HIA is required to be carried out for OTPPS with the objective of drawing up a CMP. The CMP sets out mitigation measures to avoid adverse impact on the buildings in the course of conversion and outlines the future interpretation, maintenance and management strategies, based on AMO’s Conservation Guidelines given in the Resource Kit of the Revitalisation Scheme. The HIA has been completed and submitted to AMO.

4. With reference to the CMP, Conservation Principles for mitigation measures to protect the OTPPS and for strategies to maintain and interpret the OTPPS are as below:

(a) Management of Change of Use –

- (i) Information and Resource Centre will be provided for organizing guided tours within the OTPPS as well as organizing tours to and providing information on key heritage and ecological sites in Tai Po.
- (ii) Exhibition area themed in “Exhibition of History” with interpretative panels and historic photographs will be provided for the presentation of the history of the OTPPS.
- (iii) Training room will be provided for organising educational courses related to sustainable living, bird watching, conservation, etc.
- (iv) Community co-op market will be operated weekly to sell locally produced items, namely local preserved foods and local product.
- (v) Guestrooms surrounded by landscaped areas will be provided as dwelling place for visitors. They will also support short residential education courses on sustainable living.
- (vi) Eat Well Canteen and a cookery training area will be provided as a dining area serving visitors with a learning experience of low carbon diet and to offer cookery workshops respectively.
- (vii) Folk art and craft workshop will be provided to offer art classes, with visiting “Artists-in-Residence”, exhibitions and live demonstrations of traditional handicrafts.
- (viii) Thematic landscaped areas will be provided for enriching the overall landscape of the site and supporting the new functions of adaptive reuse.

(b) Building Fabrics –

- (i) Authenticity of the heritage of the OTPPS and their architectural merits should be maintained with minimum intervention. The key Character Defining Elements (CDEs) should be retained and repaired in situ as far as possible, such as:

Main Building

- External elements such as Chinese styled pitched roof laid with pan and roll tiles, chimney, Dutch gable, plastered brick wall, verandah, Voussoirs-shaped moulding, windowsill with apron, etc.
- Internal elements such as timber battens and purlins at roof, corbelling to gable wall, cell units, armoury, fireplaces, etc.

Staff Quarters

- External elements such as Chinese styled pitched roof laid with pan and roll tiles, brick walls, verandah, timber-framed windows, etc.

Surroundings

- Elements in the surroundings such as Old and Valuable Trees, mature trees, open lawn, entrance guard house, flagpole and cannon rests, and brick incinerator, etc.

- (ii) New additional works should be kept to a minimal. Such works shall follow the concept of minimum intervention, and should be put at obscure location with minimum visual impact to the original building fabric. New elements should be of compatible design but distinguishable from the existing building fabrics and also be reversible to avoid unnecessary damage to the OTPPS, such as:

- New outdoor ramp for barrier free access will be located away from the historic building at the entrance to the site and at a less prominent location of the

historic building to minimise visual impact to the historic fabrics and landscape.

(c) Building Services –

- (i) New building services pipelines should be grouped together when entering the building so that minimum number of holes will be made on the brick walls. Instead of forming new holes, existing openings on walls should be utilised.
- (ii) New fire services installation will also be located in an underground structure at the open lawn to reduce the pressure to the OTPPS for accommodating the new electrical and mechanical services for the new use. Therefore, the openness of the lawn can be maintained.

(d) Documentation and Monitoring –

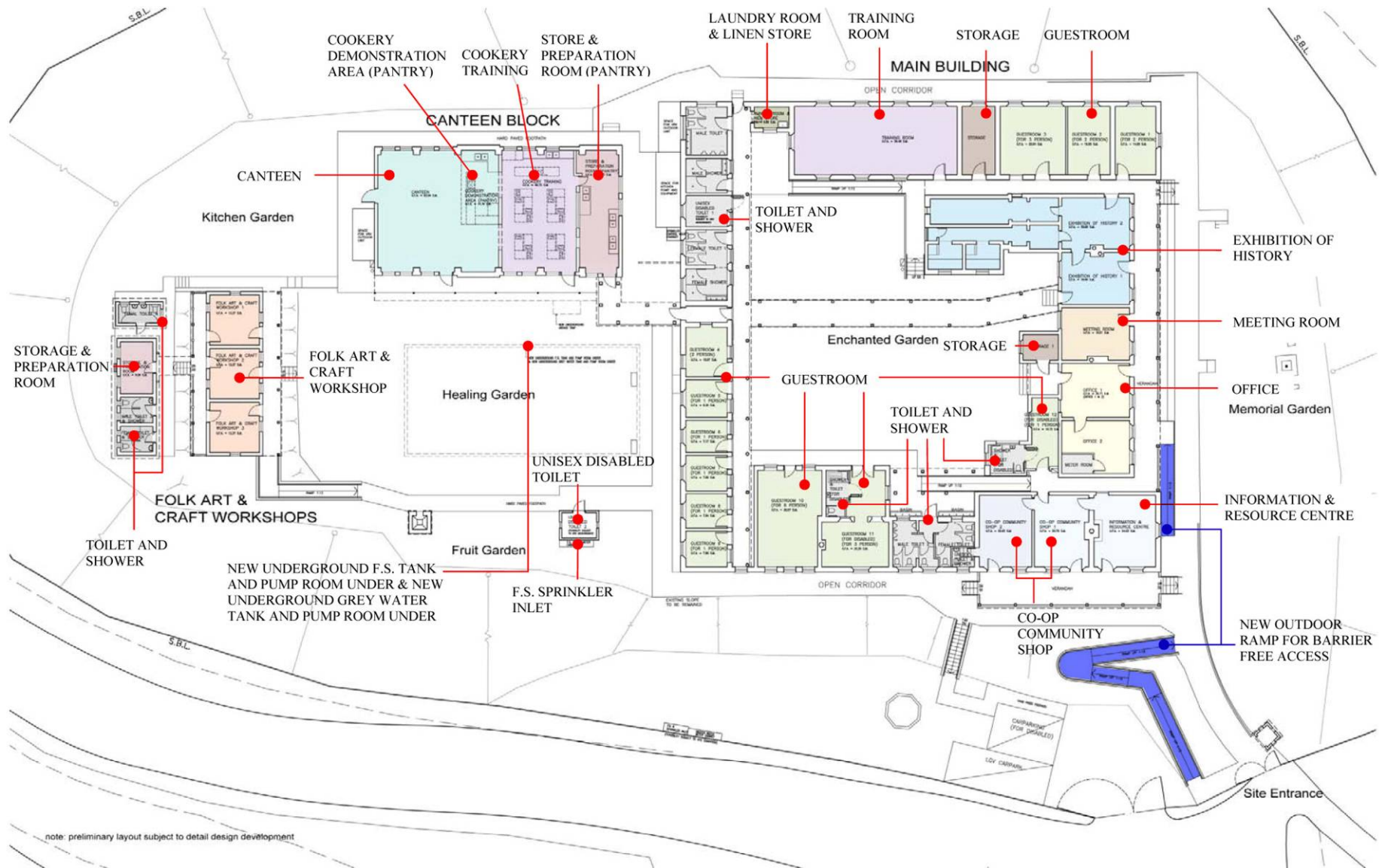
- (i) Cartographic and photographic surveys to properly record the historic building will be conducted before, during and after the alteration works.
- (ii) Maintenance and management plan to be set out for pre-construction and construction stage to monitor and record the revitalisation process, and to set up monitoring and maintenance routine in the post-construction and operation stage.

5. KFBG ensures all works carried out for heritage conservation are to strictly comply with the requirements stipulated in the CMP as endorsed by AMO.

Kadoorie Farm and Botanic Garden Corporation

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Proposed ground floor plan





Artistic impression of the Main Building viewing from the site entrance



Artistic impression of the internal courtyard at the Main Building





Artistic impression of the open lawn