



ACTIVITY CENTRE FOR THE PROMOTION OF CHINESE HISTORY AND CULTURE
IN KOWLOON PARK
Heritage Impact Assessment

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Prepared by



ANG Studio Ltd.

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NOTES

This report is prepared for the Heritage Impact Assessment Submission (HIA Submission) required under TC 6/2009 for the project Revitalisation of the Former Whitfield Barracks Block 58 into Activity Centre for the Promotion of Chinese History and Culture in Kowloon Park. In response to the Technical Circular's requirement, this HIA submission requires the submission of both a HIA report and a Conservation Management Plan (CMP). This report is therefore presented in two parts, namely:

PART 1 CONSERVATION MANAGEMENT PLAN comprises of:

- a. The Introduction
It provides a general understand of the project background, location & area of study area, the current status, existing information, gaps in knowledge.
- b. History
This is a baseline study based on desktop study and field evaluation. Establishment and development of Whitfield Barracks and the establishment of Block 58 will be discussed.
- c. Architecture
This is a baseline study based on desktop study and field evaluation about Whitfield Barrack and Block 58
- d. Statement of Significance
This is the identification of the significance of the site based on the baseline study, including its historical value, architectural value, contextual value and social value.
- e. Character Defining Elements
This is a list of built elements contributing the significance of the site.
- f. Opportunity and Constraints
This is an identification of any opportunity and limitation brought by future adaptive reuse, such as the physical condition, compliance of current regulations, conflict caused by modern-days additions, interpretation, etc.
- g. Conservation Policies and Guidelines
This includes a set of policies and guidelines for future adaptive reuse of the site, including the use, setting, interpretation, control of intervention in the fabric, such as preservation, repair and restoration to physical fabrics and interventions to physical fabrics, management, documentation, adoption and review, etc.

PART 2 HERITAGE IMPACT ASSESSMENT comprises of:

- a. The Introduction
It provides a brief account on the project background, objective and study methodology.
- b. Proposed Work
This is a brief introduction of the works involved in the subject project based on the latest design.
- c. Assessment of impact and Mitigation Measure
This divides into two sub-sections, namely impacts on the area 50m around the project site and the project site itself. Options of proposed works are studied, and then the impact assessment result is listed out in a table format.

d. Recommendation

This is a conclusive statement for the impact assessment and recommendations on the way forward.

Both parts should be read in conjunction with each other and the related documents identified for a better understand of the site and the upcoming works.

PART 1 CONSERVATION MANAGEMENT PLAN

1

INTRODUCTION

1.1 Background

This Conservation Management Plan (CMP) aims to support the Heritage Impact Assessment for the Conversion of the Former Whitfield Barracks Block 58 to Activity Centre for the Promotion of Chinese History and Culture in Kowloon Park (the Project hereafter). The Project Proponent is Leisure and Cultural Services Department (LCSD hereafter), while the Works Agent is Architectural Services Department (ArchSD hereafter).

ANG Studio Ltd. is appointed by ArchSD to carry out a study and compile the CMP.

1.2 Project Site Area, HIA and CMP Study Area

The Project Site comprises the Former Whitfield Barracks Block 58 and an adjoining open space in Kowloon Park. The HIA Study Area is an area within 50m from the Project Site. They are shown in Figure 1-1.



Figure 1-1 The Project Site and HIA Study Area. (Source: Architectural Services Department, with the Author's edition)

Since the project involves the adaptive reuse of a history building, Block 58 and the new building development in a historic site, the Former Whitfield Barracks, this CMP covers the followings:

- The historic appraisal of both the Former Whitfield Barracks and its Block 58;
- the site appraisal of the part of the Former Whitfield Barracks Site that fall within the HIA Study Area, the identification of site-wise CDEs (e.g. granite stone markers and retaining walls) and the establishment of conservation guidelines of the site; and
- the building appraisal of Block 58 with CDEs identification and conservation guideline establishment.

For avoidance of doubt, the CMP Study Area (which is also the HIA Study Area) is called the Site or the Study Site hereafter.

1.3 Current Status

As shown in Figure 1-1 above, three Grade 1 Historic Buildings fall within the HIA Study Area and they all belong to the Former Whitfield Barracks, namely:

- Block 58, which is within the Project Site and will be adaptively reused;
- Block S61 and S62, which have been converted to the current Heritage Discovery Centre.

1.4 Existing Information

To prepare this CMP, several site visits were made from February to October 2022 to study the CMP and areas in its vicinity. Visits were also made to several libraries, archives and government departments to view books, architectural plans, photographs and archive documents, including both online and hardcopy resources. Below is a list of the places visited. A full list of all documents accessed is provided in the Bibliography.

- Public Records Office, Hong Kong
- Hong Kong Public Library, Hong Kong
- Lands Department, Survey and Mapping Office, Hong Kong
- Library of the University of Hong Kong, Hong Kong
- Architectural Services Department, Hong Kong
- Planning Department, Hong Kong
- The National Archives, Kew, Richmond, United Kingdom

1.5 Gaps in Knowledge

Though the research team has put every effort to find historic documents related to the Site, there are still gaps in knowledge.

- Complete set of the A&A record plan of Block 58 during both Whitfield Barracks and Kowloon Park eras
- Up-to-date cartographic survey record
- Up-to-date record framing plan and structural appraisal
- Result of opening up investigation to uncover and ascertain the presences of suspected CDEs

2

HISTORY

2.1 Establishment of Whitfield Barracks

2.1.1 *Ceding the Kowloon Peninsula and Setting Up Military Sites in the 1860s*

The setting up of British military sites in the Kowloon Peninsula (Kowloon hereafter) had begun before the Chinese Qing Government officially ceding the land to the British Government. During the Second Opium War (1856-60), the ceding of Kowloon had been in discussion within the British. The British troops acted to occupy Kowloon on 18 March 1860¹. In October 1860, the ceding of Kowloon was confirmed and incorporated into the Convention of Peking, which concluded the Second Opium War.

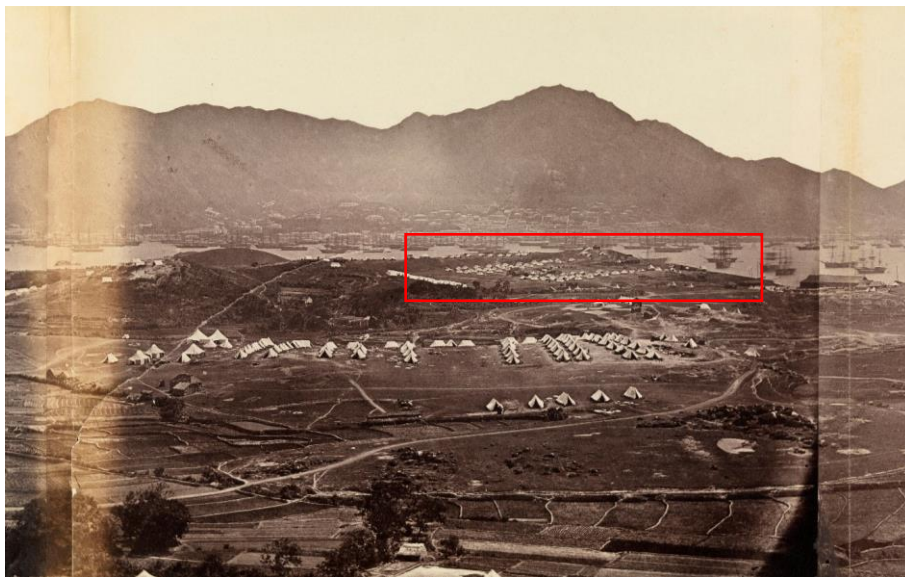


Figure 2-1 Kowloon, Hong Kong: military encampments on land and fleets in the bay during the Second China War: panoramic view. Camps were observed at the location of later Whitfield Barracks (red box)
(Source: F. Beato, ca. 1860. 6 June 2022 accessed:
<https://wellcomecollection.org/images?query=jf4wftfb>)

Since the ceding in 1860, the British War Office and the Colonial Hong Kong Government had been considering a permanent location for the British troops in Kowloon. The War Office once suggested reserving a large portion of Kowloon for military use², locating the principal

¹ Kwong & Tsoi, 2014, p.15.

² Kwong & Tsoi, 2014, p.18.

portion of the garrison of Hong Kong in Kowloon³ and **retaining the entire Kowloon “in the hands of the Crown... that no portion should be sold to private individuals but lease granted instead so that the ground might hereafter be claimed if necessary”**⁴. On the other hand, the Colonial Hong Kong Government wanted the land be used for commercial development instead. In 1861, a Joint Committee was formed between the Colonial Government, the Military and the Naval Authorities to consider upon the appropriation of land in Kowloon⁵ and so the sites for barracks, batteries, military and naval hospitals and the Naval Coal Depot.

However, the Joint Committee could not end the long dispute between the Military Authorities and the Colonial Government quickly. The Military was very concerned about the living environment and thus the health condition of the British troops if the barracks were to sit immediate next to a private residential land, while the Colonial Government insisted to reserve at least some of the coastal land of the peninsula for commercial and residential use by private sectors. In the end, after the Colonial Government threatening not to contribute **towards the cost of Kowloon's administration**⁶, the Joint Committee finally came to a consensus in 1864, when a map of military sites in Kowloon was laid down and signed (Figure 2-2& Figure 2-3). Along with three other smaller pieces of land at southeast and northwest of Kowloon, a large central area of the peninsula, **which was described as the “Site for Barracks”** was assigned as a War Department Lot.

As soon as the sites for War Department were confirmed, the Colonial Government started the roads and lot planning of Kowloon to prepare for the land sale. The construction of roads near the Site for Barracks, together with the necessary reclamation, was approved in early 1865⁷ and completed in the same year. These roads included Robinson Road (current Nathan Road), Mercer Road to the West (later MacDonell Road and current Canton Road), Elgin Road (current Haiphong Road) as well as the southwest Praya.

However, the formal Memorandum of Transfer of the land (numbered as War Department Lot No. 12 and named as “War Department Land Central Block Kowloon”) of a total area of 1,831,450 square feet was made to the War Department by the Colonial Government only on 22 July 1909⁸, which was decades after.

³ A letter from General Sir Hope Grant GCB (the then Commander of British Troops in China and Hong Kong) dated 8 February 1861, *Offices; War Individuals: 1861*. p.13-16, The National Archives, CO 129/84.

⁴ A letter from General Sir Hope Grant GCB to the Secretary of State for War, dated 13 February 1861, *Offices; War Individuals: 1861*. p.9-12, The National Archives, CO 129/84.

⁵ A letter from Sir Hercules Robinson (the then Governor of Hong Kong) to the Duke of Newcastle dated 26 March 1861, *Offices; Despatches: 1861 Jan.-Mar.* p.441, The National Archives, CO 129/80.

⁶ [Proquest] 1 Jan 1978 South China Morning Post by Colin Crisswell, 1978 The vanishing city: Healthy military sites

⁷ *Despatches: 1865 Jan.-Apr* p.67-72, The National Archives, CO 129/104.

⁸ Public Records Office, File No. HKRS 337-4-110, document no. 1 & 3.

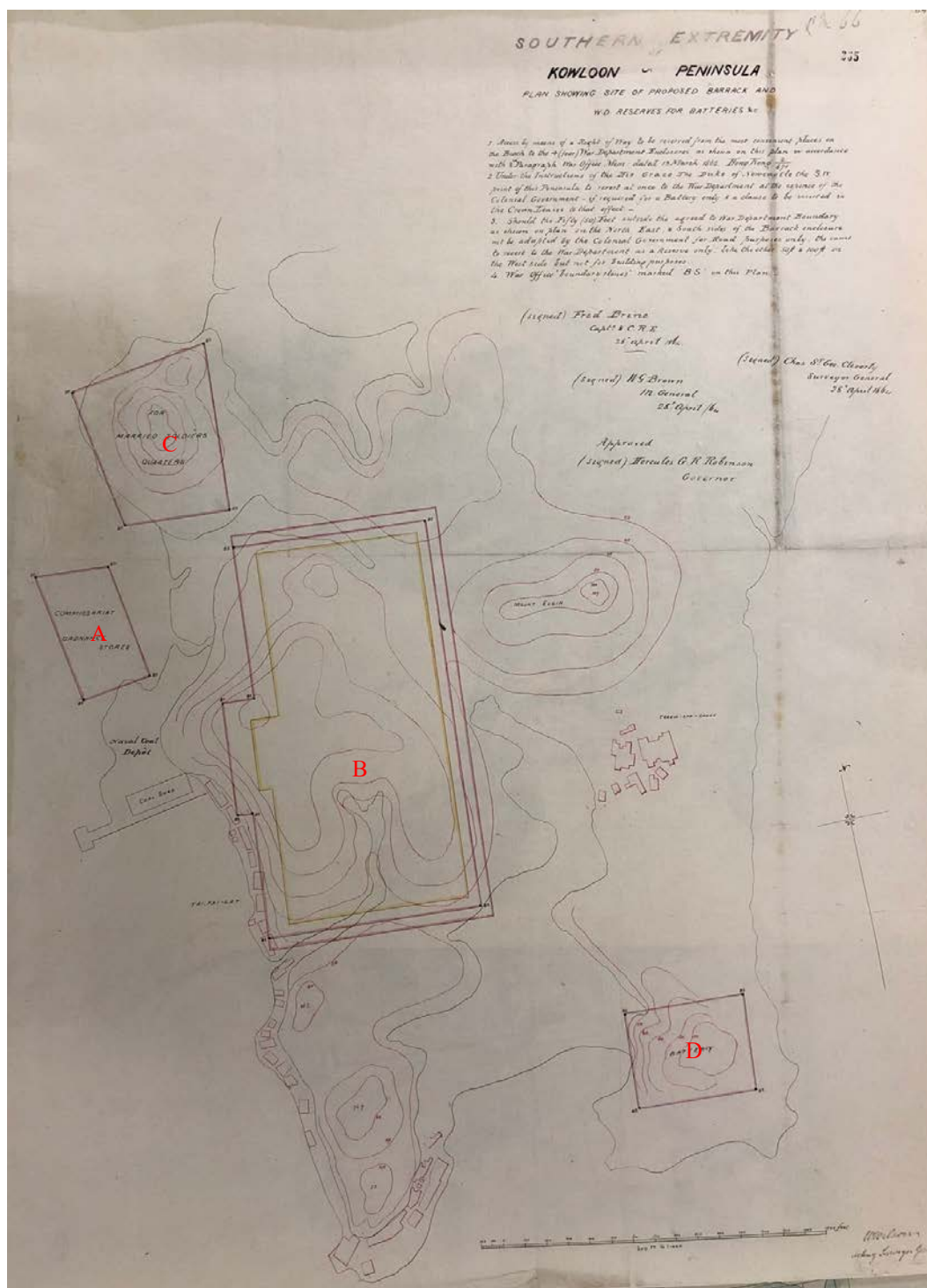


Figure 2-2 Southern Extremity of Kowloon Peninsula, Plan showing site of proposed Barrack and W.D. Reserves for Batteries, etc., 28 April 1864. The plan shows 4 sites for War Department in Kowloon, in accordance with "3rd paragraph "War Office Memorandum" dated 13 March 1862 Hong Kong 2/870", signed by Fred Brine, Caption & Royal Engineer on 28 April 1864, Charles St George Cleverly, Surveyor General, on 28 April 1864, W. G. Brown, Major General on 28 April 1864, and approved by [Sir] Hercules G. R. Robinson, Governor. Note that the Naval Coal Depot had already been established and recorded. The biggest site (denoted as "B") among the 4 was later established as Whitfield Barracks. (Source: The National Archives MFQ 1/1372/3 and CO129/98)



Figure 2-3 Kowloon Peninsula - Southern Extremity, Plan showing proposed War Department Boundaries, 6 April 1864, signed by Charles St George Cleverly, Surveyor General. The plan similarly shows 4 sites in Kowloon to be assigned to War Department, overlaid with the proposed roads (no name yet) and private lots of the surrounding land. Site A was designated as Commissariat Ordnance Stores, B as Site for Barracks (later Whitfield Barracks), C as Site for Married Soldiers Barracks and D as Site for a Battery (later Blackhead Point or Signal Hill). (Source: The National Archives MFQ 1/1372/5 and CO129/98)



Figure 2-4 Kowloon Peninsula – Roads to be formed under Report and Estimate No. 20 of 1865, dated 2 January 1865. The plan was enclosed in the Report and Estimate No. 20 of 1865, prepared by Wilberforce Wilson, Acting Surveyor General and approved by Governor [Sir] Hercules G R Robinson. Roads to be formed (tinted yellow in the map) included Robinson Road (current Nathan Road), Elgin Street (current Haiphong Road), Mercer Street (current Canton Road) and the southwest Praya. (Source: The National Archives CO129/104)

L.S.O. No. 1935/47

W. D. Lot No. 12

Locality: Canton Road

Date of SALE/GRANT/EXCHANGE: From

Term of Lease: Military authorities

Crown Lessee

UPSET PRICE per sq. ft. \$..... REALIZED \$.....

Annual Crown Rent \$..... at \$..... per acre p.a.

Total Area 1031450 Sq. Ft. (OR 42.0443 ACRES)

Lease Plan: Bk..... Page..... Date.....

Coordinates: Bk..... Page.....

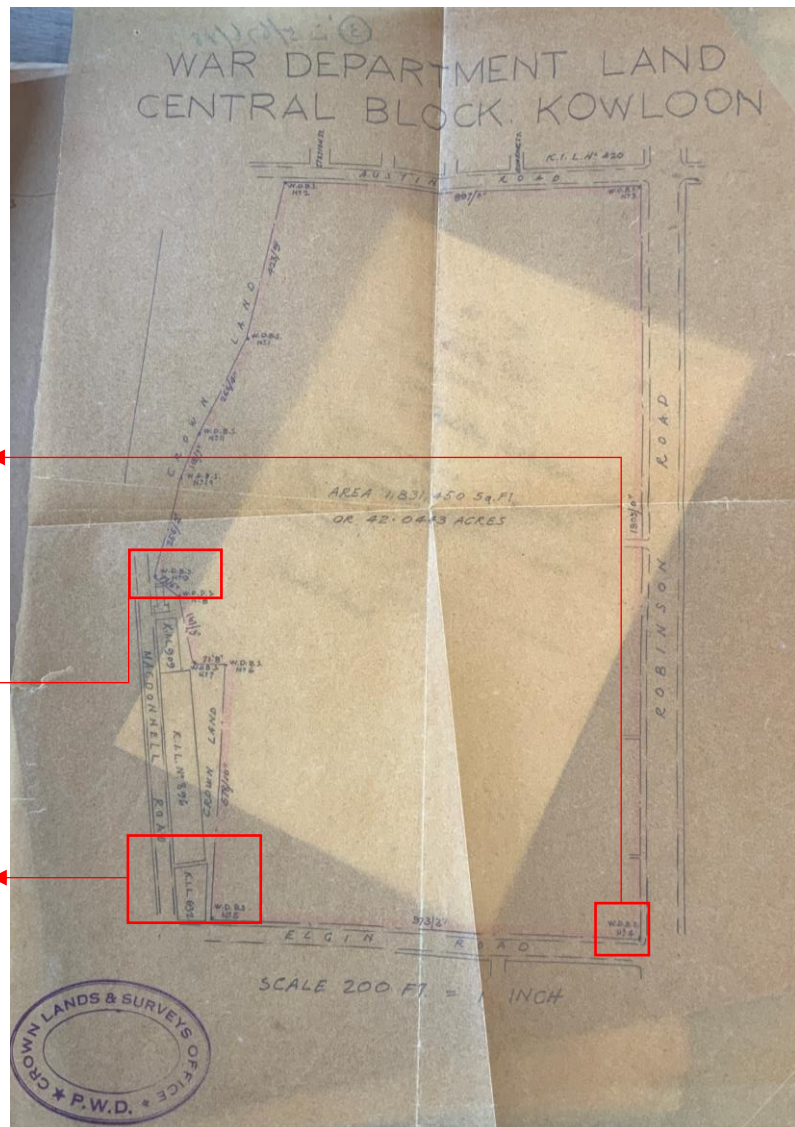
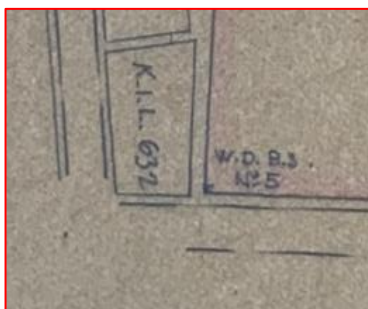
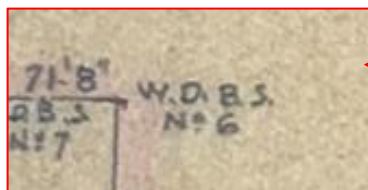
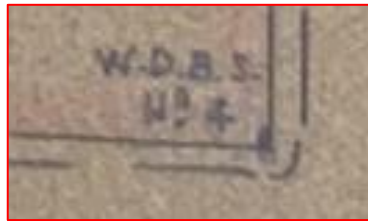


Figure 2-5 Plan of W.D. Lot No. 12 "War Department Land Central Block Kowloon", dated 22 July 1909. Note the mark "W.D.B.S. No.5" at the southwest corner of the site plan, which means War Department Boundary Stone No. 5. The one at southeast corner was "W.D.B.S. No.4" while the one in the middle of west boundary was "W.D.B.S. No.6". (Source: Public Records Office, File No. HKRS 337-4-110)

2.1.2 Constructing Permanent Barracks Buildings in Whitfield Barracks in the 1890s – 1910s

Since the "Site of Barracks", one of the four War Department Lots in the "Southern Extremity of Kowloon Peninsula" was first assigned to the War Office, only matsheds had been built on the land to house the garrison⁹. However, it experienced a new phase of development at the turn of the twentieth century. In view of potential external threats in Asia, e.g. the Sino-French War from 1884 to 1885, the Sino-Japanese War from 1894-95, Boxer War from 1899-1901, etc., the need to increase the army garrison in Hong Kong had been raised the Colonial Defence Committee and in later various discussion among the British. In 1892, there

⁹ Kwong & Tsoi, 2014, p. 39.

was a regiment of 1000 Indian troops quartered in the tents in Kowloon, whose replacement by permanent barracks was under planning¹⁰ and the Hong Kong Regiment was formed¹¹.

In a letter dated 3rd April 1895, the Secretary of State presented to the Governor an amended schedule of barrack services required in Hong Kong in consequence of the increased garrison. It was proposed that these works would be spread over ten years beginning with the current year, which the expenditure of the works would be divided in the proportion of two thirds to the British Government and one third to the Hong Kong Government.¹² There were 14 items on the list of proposed barrack works for accommodating increased garrison and for some other urgent services.

*Estimate for Barrack Works for accommodating increased Garrison,
and for some other urgent services.*

Service.	Estimate.	Estimate.	Order of Precedence.
Barracks for Hong Kong Regiment at Kowloon, exclusive of European Officers' quarters,	£ 65,700	\$ 414,947	In hand.
Hospital to replace existing Hospital ship "Meance",	37,200	234,947	1
Hospital for Asiatics, Kowloon,	11,000	69,474	2
Barracks at Kowloon for 2 Officers, 134 men, Europeans,	16,000	101,053	3
Barracks for Royal Artillery at Lyemooon,	8,850	55,895	Completed.
Purchase of Lazaretto,	3,150	19,895	Completed.
Barracks for Royal Artillery at Stonecutters' Island, ...	8,000	50,526	In hand.
Quarters for increased number of Warrant Officers (3), ...	2,300	14,526	4
Quarters for increased number of staff-sergeants, ser- geants and married men (36),	21,600	136,421	{ 5 for one half & 8 for the 2nd half.
Quarters for Quarter-Master, Infantry,	1,500	9,474	9
Increase of Royal Engineers serjeants' mess,	1,500	9,474	10
Serjeants' mess and recreation room, Victoria Barracks,	2,000	12,631	11
Gymnasium for European troops,	2,500	15,789	12
Bathing Pond,	1,700	10,737	13
Alterations to F Block, Queen's Road Barracks, for Chinese Submarine Miners,	200	1,263	6
Alterations for library, school, &c., and to Royal Engineers' workshops,	450	2,842	Partly completed.
Barracks for 1 Company Asiatic Artillery and Officers' Quarters,	10,000	63,158	7
Training the Albany Nullah,	2,400	15,158	14
	196,050	1,238,210	
Add 1 ¹⁰ th * contingencies,	15,885	100,326	
Total,	211,935	1,338,536	

* Not increased on Account of the Hospital.

Figure 2-6 Estimate of barracks works for accommodating increased garrison and for some other urgent services. The estimate was attached on a letter from the Secretary of State dated 3rd April 1895.

¹⁰ Despatches: 1892: May – July, The National Archives, CO 129/255.

¹¹ Kwong & Tsoi, 2014, p. 39.

¹² "The Hong Kong Government Gazette August 17, 1895 (Notification No. 350)." Hong Kong Government Reports Online, accessed 12 November 2022, <http://sunzi1.lib.hku.hk/h?kgro/view/g1895/642661.pdf>.

(Source: "The Hong Kong Government Gazette August 17, 1895 (Notification No. 350)." Accessed 12 November, 2022, <http://sunzi1.lib.hku.hk/hkgro/view/g1895/642661.pdf>.)

Out of the 14 items, there were "barracks for Hong Kong Regiment at Kowloon, exclusive of European Officers' quarters", "Hospital for Asiatics, Kowloon" and "barracks at Kowloon for 2 Officers, 134 men, Europeans". These three items were respectively put on the "in hand", the second and the third order of precedence.¹³ It shows that an urgent need to provide barracks in Kowloon was identified and put on schedule, and some of the barrack buildings in Kowloon should have been completed by 1895.

On the other hand, "barracks at Kowloon (Whitfield)" were first recorded in list of military quarters and buildings in Hong Kong Blue Book in 1891¹⁴, while "Whitfield Barracks" with its very first 7 buildings were in a map in 1895 of Hong Kong (Figure 2-7). These show that the name "Whitfield Barracks", named after Lieutenant General Henry Wase Whitfield, the commander of the British Troops in China, Hong Kong and the Straits Settlements in 1869-1874 and Lieutenant Governor of Hong Kong in 1872, has been officially adopted and these very first 7 buildings were erected during 1891-95. Block A, a 2 storeys barrack building for soldiers (later named Block S58 or now commonly known as Block 58) was one of them. Other 6 buildings were Blocks B, C, H, and I (barrack buildings for soldiers), Block J (a school building) and Armoury, all of 2 storeys.

By 1895, Asiatic Hospital Kowloon, which was listed the second in 1895 schedule of barrack services, had been completed and added to list of military quarters and buildings in Hong Kong¹⁵. By 1901, Block G (another 2 storeys barrack building, later named Block S4) had been further added to the site (Figure 2-8). By 1911, 66 buildings had been constructed in the south half of Whitfield Barracks site (Figure 2-10), including Block D (later named Block S61), Block E (later named Block S62) and Block F.

¹³ Ibid.

¹⁴ *Hong Kong Blue Book, Military Expenditure, 1891*. Hong Kong Government Reports Online, accessed 12 November 2022, <https://sunzi1.lib.hku.hk/hkgro/view/b1891/51891011.pdf>.

¹⁵ *Hong Kong Blue Book, Military Expenditure, 1895*. Hong Kong Government Reports Online, accessed 12 November 2022, <https://sunzi1.lib.hku.hk/hkgro/view/b1895/51895012.pdf>

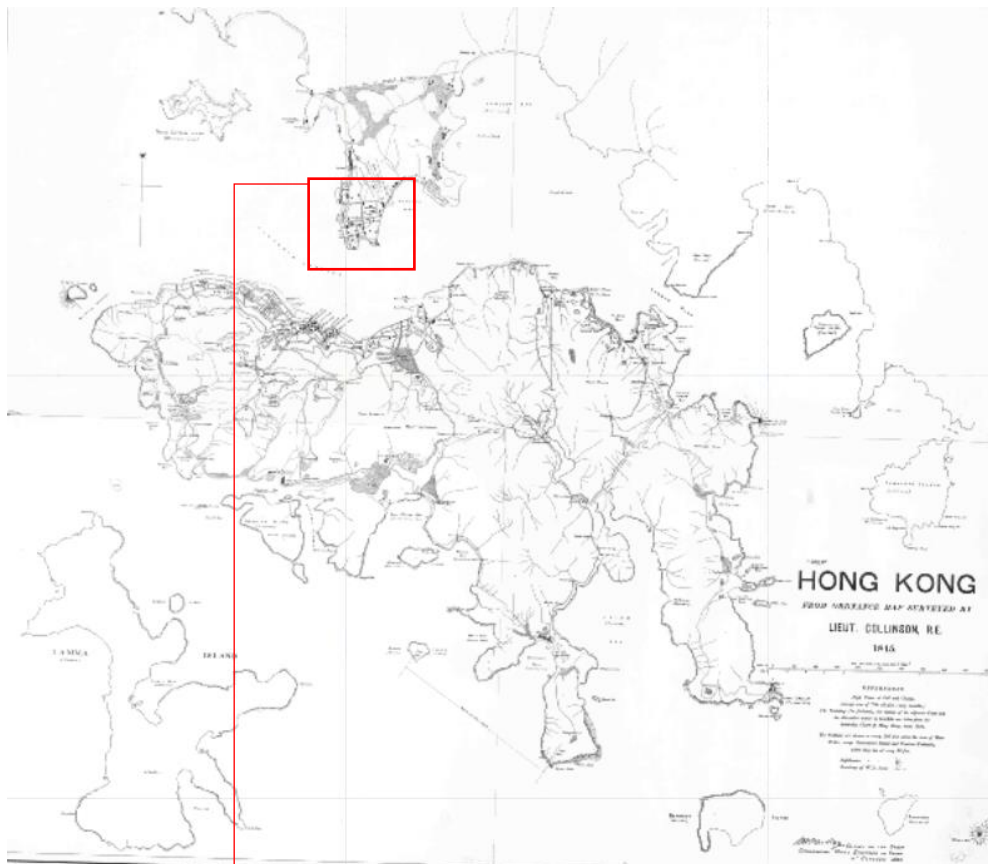


Figure 2-7 Hong Kong from Ordnance Map surveyed by Lieut. Collinson, Royal Engineer 1845 and updated and signed by W H Mulloy, Colonel on the Staff Commanding Royal Engineer in China on 11 October 1895. The name “Whitfield Barracks” first appeared on a survey map of Hong Kong. 7 buildings inside Whitfield were recorded, which should be **Block A, B, C, H, I, J and the Armoury**. (Source: Hong Kong Maps. Accessed on 12 November 2022, <https://hkmaps.hk/map.html?1896>)



Figure 2-8 An extract from Map of Kowloon, 1901. Blocks A, B, C, G, H, I, J, Armoury, [Asiatic] Hospital and Mosque were recorded, while Blocks D, E, F were drawn in hidden lines (estimated to be under planning/ construction). (Source: Hong Kong Maps. Accessed on 12 November 2022 <https://www.hkmaps.hk/map.html?1901.2>)



Figure 2-9 Whitfield Barracks taken at the end of the 19th century (Source: 蕭國健. (2000). 油尖旺區風物志 (第2版 ed.). 油尖旺區議會)



Figure 2-10 Hong Kong Kowloon, Skeleton Record Plan of Whitfield Barracks, 1906 and further amended in 1909 and 1911, 3 sheets. 66 buildings were built in south half of Whitfield Barracks site, among which 11 were of 2 storeys (Blocks A, B, C, D, E, F, G, H, I, J and Armoury). (Source: The National Archives, WO 78#3744)

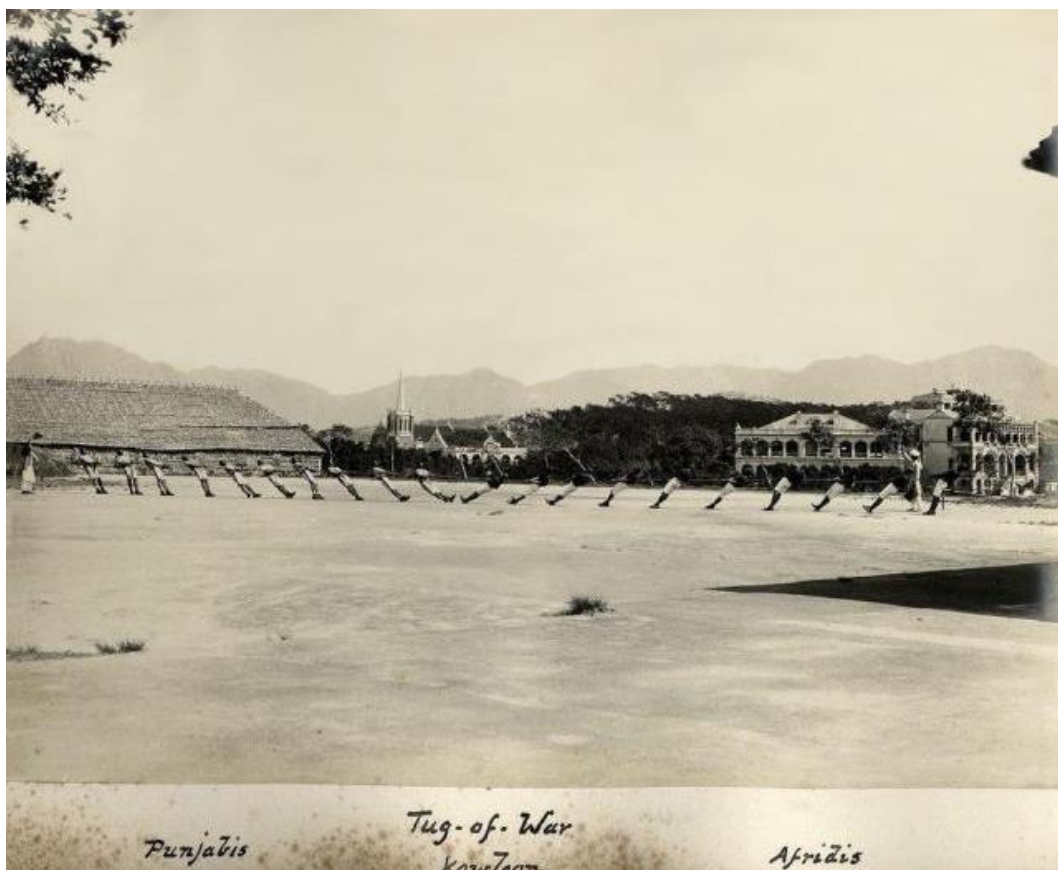


Figure 2-11 Whitfield Barracks in 1907 (Estimated to be next to hospital ward). (Source: Gwulo.com)

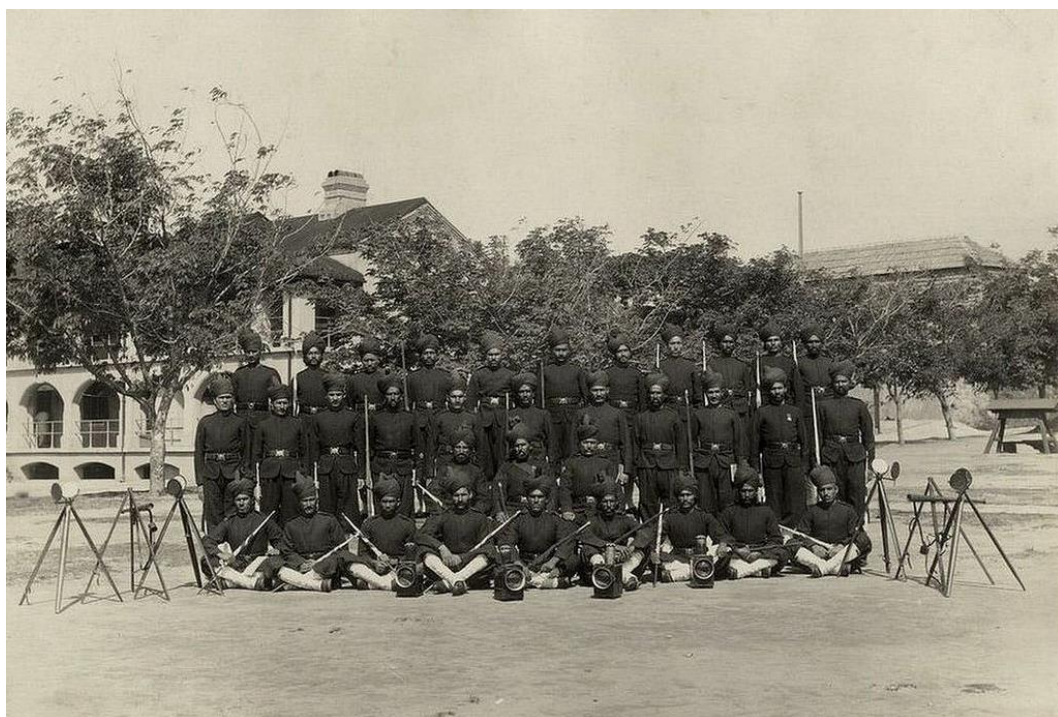


Figure 2-12 Whitfield Barracks in 1910 (Estimated to be the courtyard next to matsheds)(Source: Medium.com)

2.1.3 Extending Barracks Buildings in Whitfield Camp in the 1910s – 1920s

The construction of barrack buildings in Whitfield Barracks continued in the next decade, extending to the remaining north half of the barrack site. Native **officers'** quarters, native soldiers' quarters and the ancillary buildings such as ablutions, store, stables, workshops, schools were built. In the 1913 - 1923 record plan (Figure 2-14), over a hundred buildings were recorded to fully occupy the entire barrack site, of which the majority had been completed on or before 1913. The 1922 - 1926 record plan (Figure 2-15) showed a reduction of buildings to allow for some open ground and tennis courts.

It was worth noting that the barrack site was named as "Whitfield Barracks and Camp" in the 1923 record plan. In fact, Whitfield and Whitfield Camp were recorded as separate barracks in the list of military quarters and buildings in 1908 Hong Kong Blue Book¹⁶. It was estimated that "camp" referred to the north half of the site where buildings were of simple one storey.

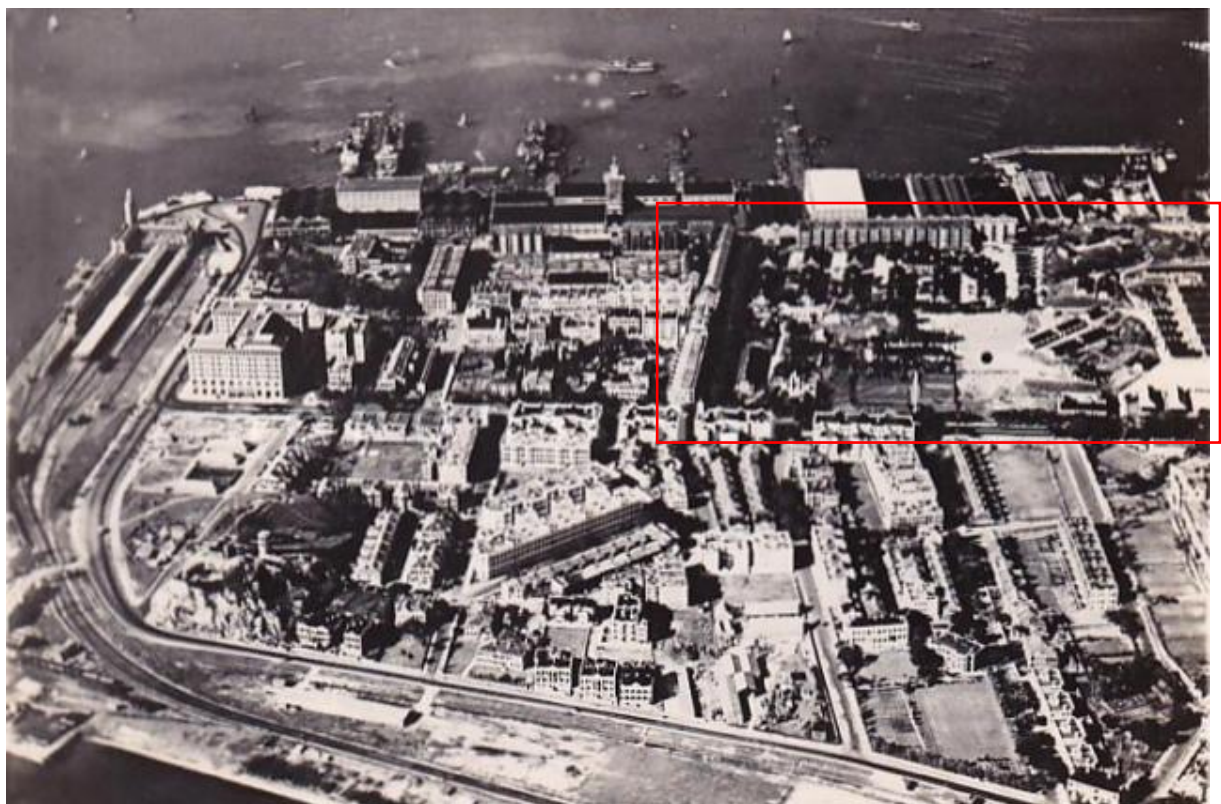


Figure 2-13 1928 Kowloon air view TST (1927-28), with Whitfield Barracks and Camp at the top right corner in the photo (red box). (Source: Gwulo.com)

¹⁶ Hong Kong Blue Book, *Military Expenditure*, 1908. Hong Kong Government Reports Online, accessed 12 November 2022, <https://sunzi.lib.hku.hk/hkgro/view/b1908/51908012.pdf>.

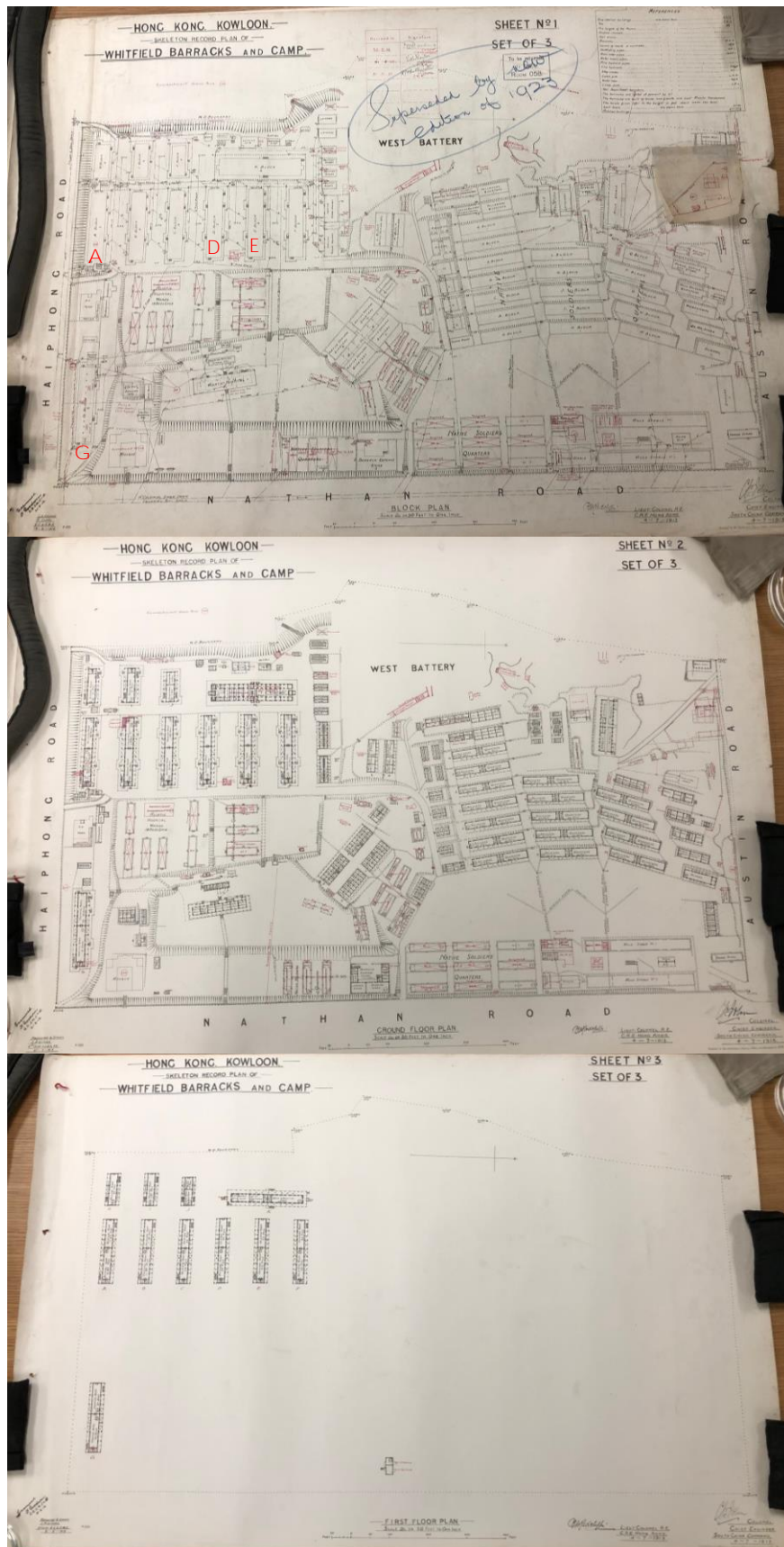


Figure 2-14 Hong Kong Kowloon, Skeleton Record Plan of Whitfield Barracks and Camp, 1913, further amended in 1916, 1920 and 1922, 3 sheets. (Source: The National Archives, WO 78#3744)

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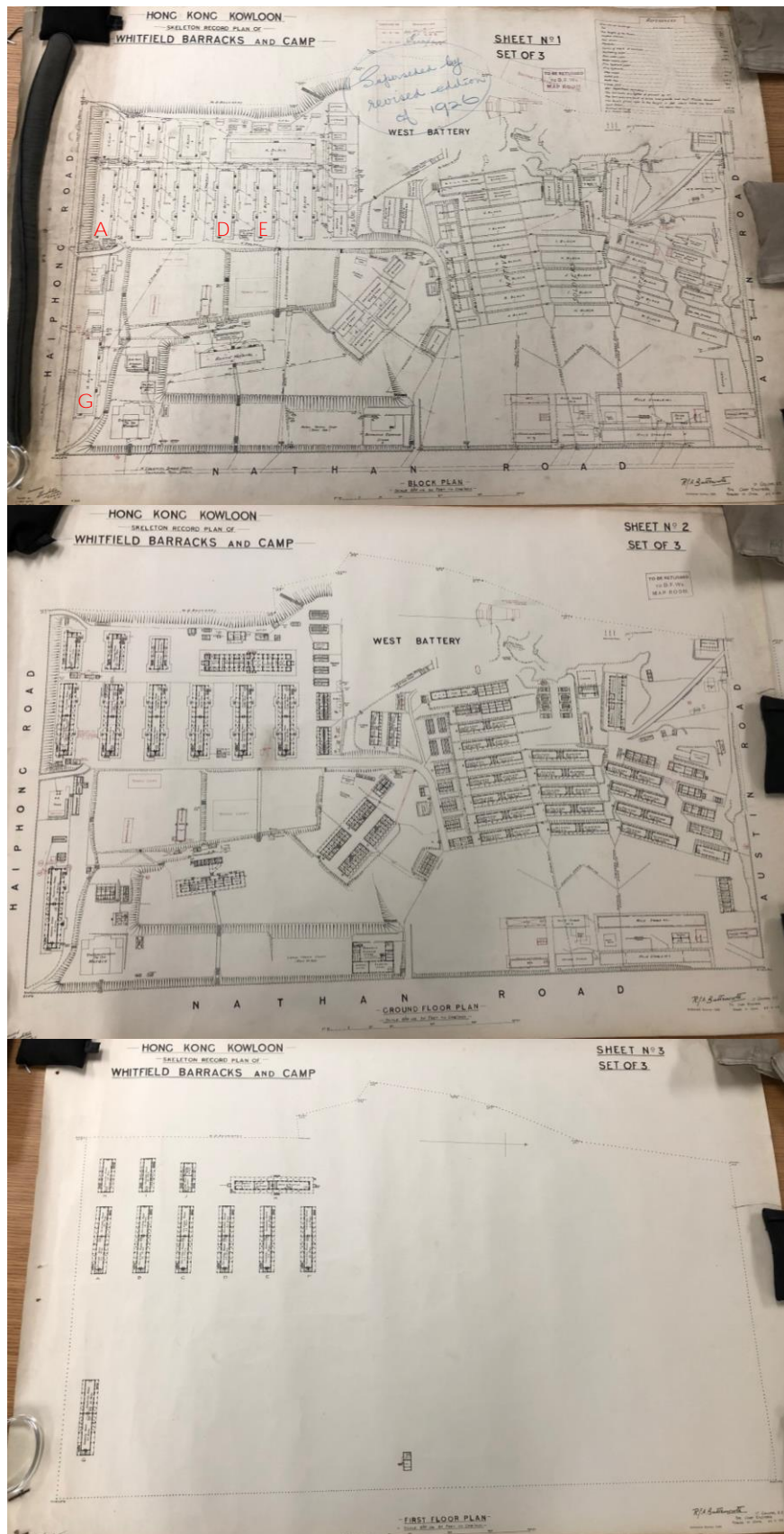


Figure 2-15 Hong Kong Kowloon, Skeleton Record Plan of Whitfield Barracks and Camp, 1922, further amended in 1924 & 1926, 3 sheets. (Source: The National Archives, WO 78#3744)

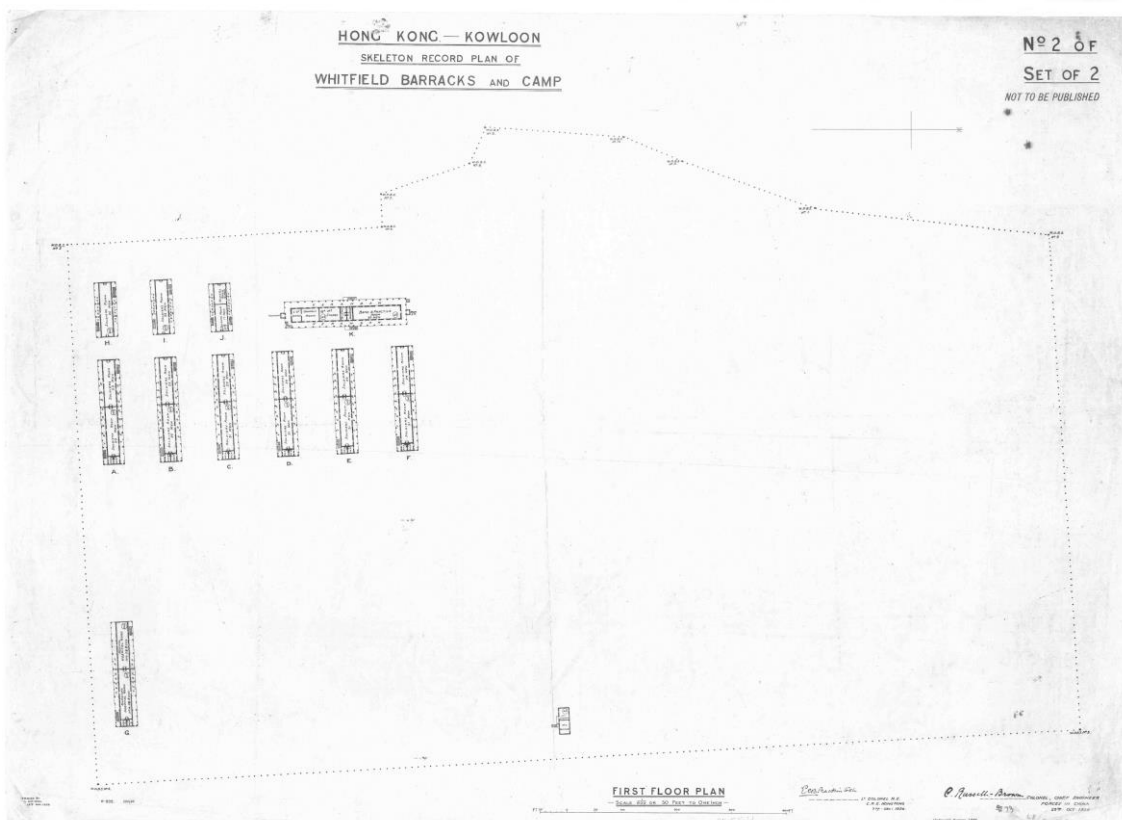


Figure 2-16 Hong Kong Kowloon, Skeleton Record Plan of Whitfield Barracks and Camp, Ground & First Floor Plans, 1926. (Source: Public Records Office, File No. HKRS913-1-119)

2.2 Before, During and After WWII

2.2.1 Discussion of Alternative Use of the Land in the 1920s

With the peace brought after the First World War, commercial development had once again become the major focus of the Colonial Government over the military defence consideration. In 1920s, the Whitfield Barracks and Camp were valued HKD\$ 3,610,036, with an average valuation of HKD\$ 2 per square feet¹⁷, which led to discussion in different parties in the society of Hong Kong about a better use of the land occupied by the military, including the then Governor, Sir Reginald Edward Stubbs.¹⁸ The civil society had also shared their views on the potential use of Whitfield Barrack and Camp as a park, as there was a need of open space in Kowloon for recreational purposes.¹⁹ However, the ideas were soon dropped due to the objection by the War Department and then the upcoming threats brought by the Japanese.

2.2.2 Preparing for and Suffering from WWII

Prior to the outbreak of the Second World War (WWII hereafter), Whitfield Barracks was responsible to prepare the precaution work and was part of the defence scheme of Hong Kong.²⁰ A number of new structures were added to Whitfield Barracks, including the air raid tunnels and shelters underneath the site. However, in view of the difficulties to defense by land, the New Territories and Kowloon were planned to be abandoned when war broke out in Hong Kong and the defence preparation on the north of Victoria Harbour was only targeted for the garrison to buy time to hold Hong Kong Island and deny the use of Victoria Harbour by the enemy.²¹

Finally, the war struck Hong Kong on 8 December 1941. The defence scheme of Hong Kong failed strictly. Japanese bombardment on the north shore of Hong Kong Island began on 15 December. On the evening of 18 December, the Japanese troops crossed the Harbour. After a week of fierce resistance on the island, the Hong Kong Government, headed by the Governor, surrendered to the Japanese forces on 25 December.

There were very few documents reflecting Whitfield Barracks' situation during the Japanese Occupation (1941-1945), but it is believed that it was used as internment camp.²²

2.2.3 The Resumption after WWII

Just before the end of WWII in 1945, the Japanese forces were evacuated from Hong Kong Island to Kowloon and the Colonial Government made the resumption of Whitfield Barracks as one of their priorities, due to its strategic location to protect the Naval Depot.²³

¹⁷ *Offices: (Except Admiralty, Crown Agents and Foreign); Individuals: 1922*, The National Archives, CO 129/478.

¹⁸ *South China Morning Post*, 30 January 1920.

¹⁹ *South China Morning Post*, 13 February 1924.

²⁰ *Historic building appraisal, Former Whitfield Barracks, Block 58*. AMO, accessed on 12 November 2022 https://www.aab.gov.hk/filemanager/aab/common/historicbuilding/en/51_Appraisal_En.pdf.

²¹ Kwong & Tsoi, 2014, p. 141.

²² *Historic building appraisal, Former Whitfield Barracks, Block 58*. AMO, accessed on 12 November 2022 https://www.aab.gov.hk/filemanager/aab/common/historicbuilding/en/51_Appraisal_En.pdf.

²³ *Port Administration Inquiry Committee: Report and Minutes of Meetings: 1945-1946*, The National Archives, CO129/618/7.

After the British Forces reoccupied Hong Kong, a military administration was established which lasted until May 1946. There was a large number of Japanese surrendered personnel and civilian internees, which amounted to around 22,000 in September 1945. The prisoners of war were accommodated in Whitfield Barracks, Argyle Street Camps and Shamshuipo Camp with the Civilian internees in Stanley Camp.²⁴ The lists of all the Japanese services personnel under the Colonial Government's control was completed 5 October, 1945, of which the civilians in Whitfield Barracks compiled their own name list. The 5,000 Japanese internees in Whitfield Barracks were then required moved to Stanley to make room for British troops, and the first 3 batches, approximately 500 men in total, were evacuated on 16 October, 1945. The transfer of all Japanese civilians was completed on 10 November 1945. The left 2,000 Formosans and Koreans were further transferred to Argyle Street after which the original use for the British Troops could be fully resumed.²⁵

A few building additions/ demolitions in Whitfield Barracks were recorded in 1948, and they all laid in the "camp" area in the north portion (Figure 2-17).

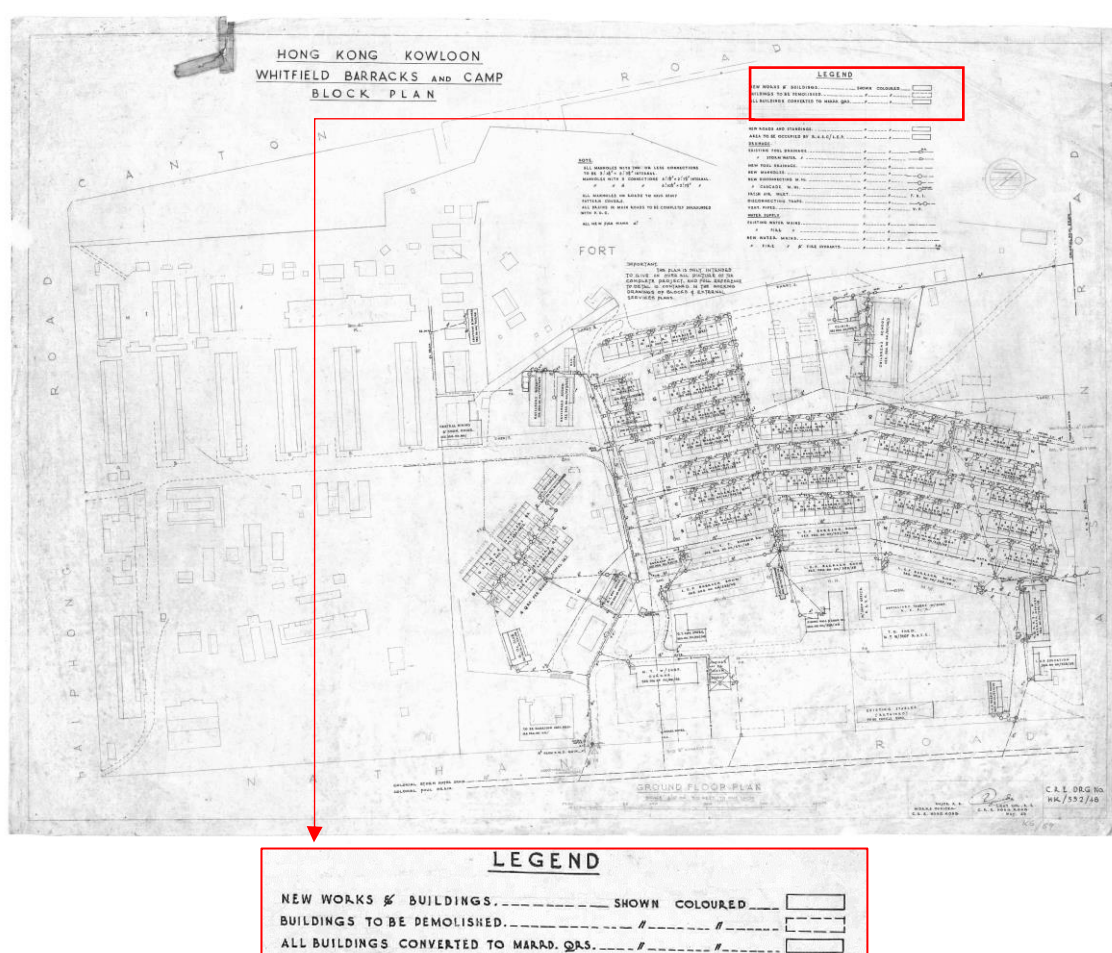


Figure 2-17 Hong Kong Kowloon, Skeleton Record Plan of Whitfield Barracks and Camp, Block Plan, 1948. Note that new works/ buildings, buildings to be demolished and buildings converted to Married Quarters were all buildings in the north portion. (Source: Public Records Office, File No. HKRS913-1-121)

²⁴ Military Administration: Civil Affairs, Directives to Force Commander and Senior Officials: 1945 Feb. 24-Sept. 13, The National Archives, CO129/591/12.

²⁵ Reports on Current Situation: Including Weekly Intelligence Reports: 1945 Sept. 18-1945 Dec. 20, The National Archives, CO129/592/6.

2.3 The Return of the Military Land

2.3.1 Postwar Town Planning Review in the late 1940s

After the Second World War, Sir Patrick Abercrombie, a renowned English scholar and town planner, was commissioned by the UK Government Colonial Office to review and give advice on the town planning of Hong Kong.²⁶ In his report submitted in 1948, he made the following suggestion regarding “the Removal of the [Military and Naval] Services”:²⁷

“The most discussed proposal in the Colony is the removal of the Naval and Military quarters from the centre of Hong Kong: the removal from Kowloon, though less urgent, would follow on a new location being found for those located in Hong Kong. It was somewhat surprising to find that there was less difference of opinion between the Civil and Services views, than might have been expected. Naturally the Services were only prepared to move to quarters which would prove equally or more **serviceable**...

Whereas the Naval exodus from the Hong Kong & Kowloon Dockyards would be complete, the Military authorities stated that headquarters on a reduced scale would be required at Victoria or Garden Road Barracks and at Gun Club Hill in Kowloon, as well as access to water at Wellington Barracks and Sham Shui Po. But Whitfield Barracks and the major area overlooking Queen's Road could be given up...”

He continued to suggest a list of the types of open spaces that could make up a park system for Hong Kong and Kowloon, including:²⁸

“Playing Field: ... A part of the Whitfield Barracks site when released might be levelled for this [playing fields] purpose...”

Rest Parks: ... After allowing for the widening of Canton Road and providing level ground for games, there will be space left at Whitfield Barracks [for open spaces/ rest parks].”

In fact, the presence of Star Ferry and the Tsim Sha Tsui Terminus of the Kowloon-Canton Railway on the south bank of Tsim Sha Tsui, and also the Peninsula Hotel on Salisbury Road, Tsim Sha Tsui had become a transfer station for tourists both from Hong Kong Island and China. However, as the Whitfield Barracks was located at the heart of the ceded area of Kowloon, it had both hindered the development of the business district in Tsim Sha Tsui²⁹ and the possibility of developing housing schemes within easy reach of the cross-harbour ferries.³⁰ The Hong Kong Government thus had actively negotiated with the British Army to relocate the barracks since after WWII. However, consensus could not be reached between the Hong Kong Government and the War Department after rounds of discussion in the subsequent

²⁶ Visit of Sir Patrick Abercrombie to Advise on Town Planning: 1948 Jan. 4-1949 Jan. 10, The National Archive, CO129/614/3.

²⁷ Sir Patrick Abercrombie, *Hong Kong Preliminary Planning Report, 1948*, p.15 - p.16. Accessed November 19 2022, <https://digitalrepository.lib.hku.hk/catalog/w6634366r#?c=&m=&s=&cv=&xywh=-1770%2C-110%2C4738%2C2151>.

²⁸ Sir Patrick Abercrombie, *Hong Kong Preliminary Planning Report, 1948*, p.17 - p.18. Accessed November 19 2022, <https://digitalrepository.lib.hku.hk/catalog/w6634366r#?c=&m=&s=&cv=&xywh=-1770%2C-110%2C4738%2C2151>.

²⁹ 余震宇. (2016). 戰後香港寫照, 1945-1967 (初版.). 中華書局香港有限公司.

³⁰ Development: Recommendations of Hong Kong Colonial Development and Welfare Committee: 1947 July 18-Dec. 23. The National Archive, CO129/617/6.

years, as the latter hoped only to dispose of the frontage along Nathan Road while the former was not interested in a partial surrender of the site³¹.

2.3.2 Achieving a Mutually Agreed “Triangular Move” Plan in the 1950s-1960s

In the late 1950s/ the early 1960s, almost a century after the land’s establishment, the Whitfield Barracks was found in a deplorable condition and unsuited for housing troops. The War Department estimated that they would have to spend around 0.6 to 0.75 million pounds to modernize all the barrack buildings, even not fully up to the standard.³² They were therefore anxious to move, the first time sharing the Hong Kong Government’s view.

As such, in 1959 a joint British Army – Hong Kong Government Working Party was set up to work out a mutually agreed proposal for re-housing Whitfield Barracks. The Working Party finally reached a practicable solution in 1960, which involved a “Triangular Move” in three British Army’s holdings in Hong Kong³³:

1. A new Ordnance Depot to be built at a vacant Government own land on the old airfield at Kai Tak;
2. The then Ordnance Depot at Kowloon Tong sites (also known as Hilsea, later as Osborn³⁴, currently as Kowloon East Barracks) on Government owned land but held by the War Department under temporary permits to be removed by then, so as to re-house the Garrison units that stationed in Whitfield Barracks, plus additional married quarters;
3. The accommodation at Whitfield Barracks to be re-provided subsequently at Kowloon Tong sites and the land of Whitfield Barracks to be returned to the Hong Kong Government.

The Working Party estimated that this “Triangular Move” would take about seven years from the start of planning to completion and cost around £2.6 million.³⁵

After negotiation of terms, an agreement was made between the Hong Kong Government and the War Department on 14 September 1962.³⁶ The Hong Kong Government undertook to provide the land at Kai Tak free under Deeds of Appropriation and to pay up £2.876 million towards the cost of the buildings for the War Department³⁷, to be paid by instalments over 7 year period. In return, the War Department agreed to surrender Whitfield Barracks to Hong Kong Government when Kai Tak and Hilsea sites were ready for the use of the War Department, to carry out and complete within 7 years the construction works at Kai Tak and Hilsea of its own scales and specifications in regard to design and construction, to release portions of Whitfield Barracks in advance of the surrender of the whole area as soon as they could be made available³⁸.

³¹ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. “Whitfield Barracks” Replacement Scheme.* The National Archive, T225/3043.

³² *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. “Whitfield Barracks” Replacement Scheme.* The National Archive, T225/3043.

³³ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. “Whitfield Barracks” Replacement Scheme.* The National Archive, T225/3043.

³⁴ Public Records Office, File No. HKRS 229-1-714, document no. 7.

³⁵ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. “Whitfield Barracks” Replacement Scheme.* The National Archive, T225/3043.

³⁶ Public Records Office, File No. HKRS 337-4-110, document no. 39.

³⁷ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. “Whitfield Barracks” Replacement Scheme.* The National Archive, T225/3043.

³⁸ Public Records Office, File No. HKRS 337-4-110, document no. 39 & 42.

According to a record plan in 1961 (Figure 2-19), there were total 115 and 56 buildings in the south and north portions of Whitfield Barracks respectively. The War Department also agreed in the agreement to demolish all the structures (except the boundary fence and the Mosque) at their own cost before the surrender.



Figure 2-18 A photo of Whitfield Barracks in the 1950s. Note that the pitch roofs on verandahs has become flat roofs already. (Source: Gwulo: Old Hong Kong.)

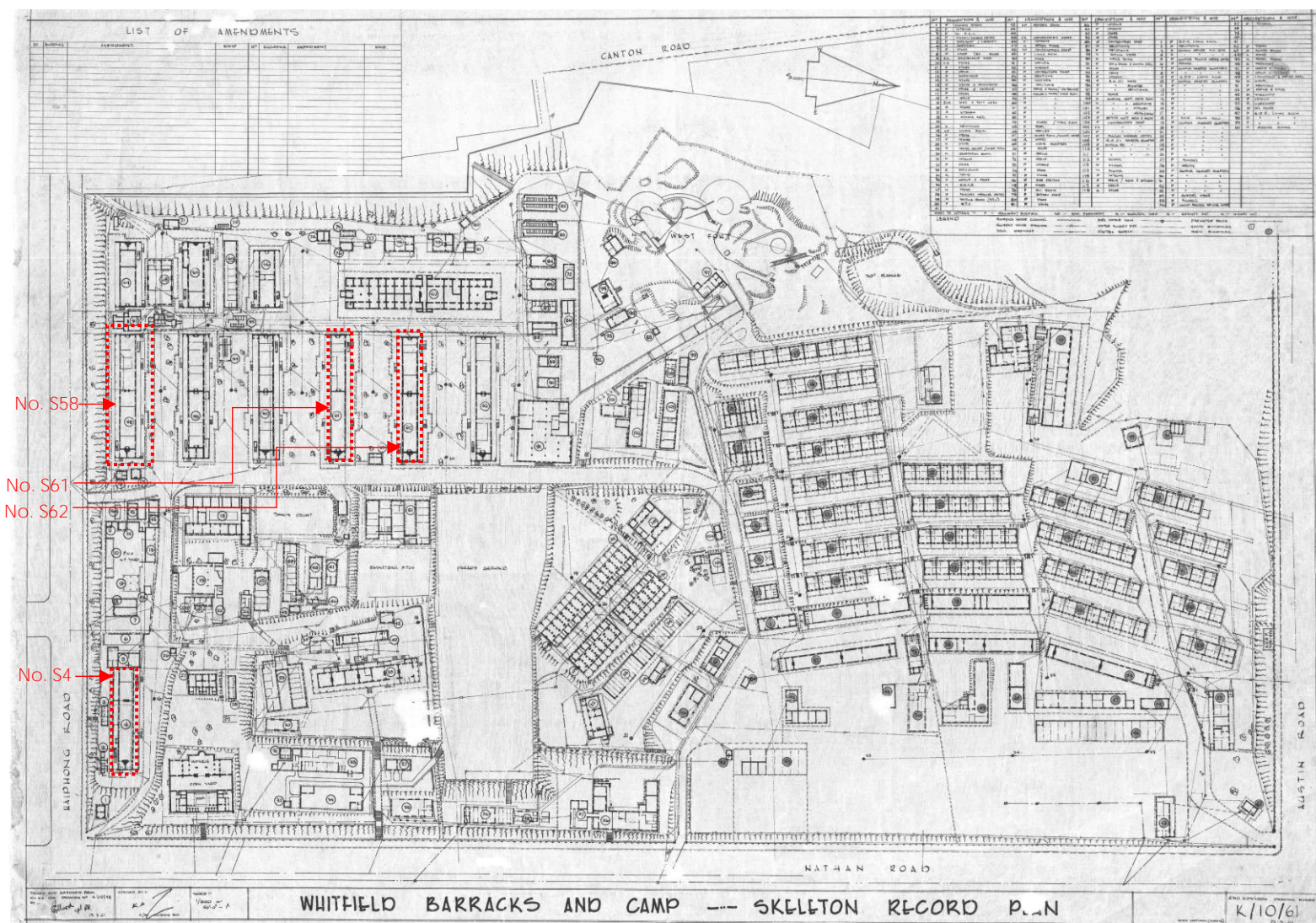


Figure 2-19 Whitfield Barracks and Camp, Skeleton Record, 18 May 1961, Drawing No. K/10/61. Legend is extracted in the next two pages. Note that Block A was numbered as "S58" or "South Building No.58", Block D as S61, Block E as S62 and Block G as S4. (Source: Public Records Office, File No. HKRS913-1-122).

South Buildings
(Total 115 buildings):

No.	Type*	Description & Use	No.	Type*	Description & Use	No.	Type*	Description & Use	No.	Type*	Description & Use
1.	P	Guard Room	31.	N	Latrine	61.	P	Office & Stores/ Living ACCN	91.	P	Cook House & Dining Hall
2.	P	Latrine	32.	P	Store	62.	P	Office & Stores/ Living ACCN	92.	P	Store
3.	P	Ex. P. A. C.	33.	R	Polyclinic	63.	P	Office & Stores/ Living ACCN	93.	P	Store
4.	P	NAAPI/ Church Centre	34.	R	Office	64.	P	Stores/ Living ACCN	94.	P	Kitchen
5.	P	Workshop/ Library	35.	N	Office & Store	65.	P	NAAFI.	95.	P	Q.G.O.'s Mess
6.	N	Workshop	36.	N	R.A.O.B.	66.	P	Offices	96.	P	Q.G.O.'s Quarter
7.	P	Store	37.	N	Store	67.	P	Guard Room/ Signal Centre	97.	P	Q.G.O.'s Ablutions
8.	P	Store	38.	P	Families Medical Centre	68.	R	NAAFI.	98.	P	Store
8A.	P	Store	39.	N	Waiting Room (S.T.C.)	69.	P	NAAFI Quarters	99.	P	Gurkha SGT's Mess ACCN
9.	CS	Maintenance Shed	40.	P	S.T.C.	70.	P	Store	100.	N	Gurkha SGT's Ablutions
10.	CS	Store	41.	/	/	71.	P	Office	101.	N	Gurkha SGT's Kitchen
11.	P	Store	42.	SP	Drivers Room	72.	N	Office	102.	P	Gurkha SGT's Mess & ACCN
12.	P	Office	43.	/	/	73.	P	Latrine	103.	P	British SGT's Mess & ACCN
13.	P	Workshop	44.	/	/	74.	P	DNOBI	104.	P	Contractors Shop
14.	P	Store	45.	CS	Contractors Store	75.	P	Store	105.	CS	Contractors Shop
15.	P	Store & Workshop	46.	P	Latrine	76.	P	Fire Station	106.	P	Contractors Shop
16.	P	Store & Latrine	47.	N	Ration Store	77.	P	Store	107.	P	Families Welfare Centre
17.	P	Store	48.	SP	Contractor Shop	78.	P	M. I. Room	108.	P	Q.G.O.'s Married Quarter
18.	P	Office	49.	P	Living ACCN	79.	P	Battery Shop	109.	P	Gurkha SGT's Married Quarter
19.	2xN	WOK & SGTS Mess	50.	P	Store	80.	P	Store	110.	P	Gurkha SGT's Married Quarter
20.	P	Store	51.	P	Office	81.	P	Store	111.	P	Gurkha SGT's Married Quarter
21.	P	Kitchen	52.	P	Garage	82.	P	Latrine	112.	P	School
22.	N	Dining Hall	53.	P	Contractors Shop	83.	P	Latrine	113.	N	School
23.	/	/	54.	N	Ablutions	84.	P	Store	114.	N	School
24.	N	Ablutions	55.	P	Latrines	85.	P	Store	115.	P	Latrine
25.	SP	Living ACCN.	56.	P	Ablutions	86.	P	Contractor's Shop	116.	P	Office/ Mess & Kitchen
26.	P	Store	57.	P	Office & Stores/ Contractor	87.	P	Ablutions	117.	P	Office
27.	P	Store	58.	P	Office & Stores/ Living ACCN	88.	P	Ablutions	118.	N	Store
28.	N	DNOBI	59.	P	Office & Stores/ Living ACCN	89.	N	Ration Store			
29.	P	Dental Centre/ Living ACCN.	60.	P	Office & Stores/ Living ACCN	90.	N	Cooks Room			
30.	N	Recreation Room									

(*: P = Permanent Building; SP = Semi Permanent Building; M = Marston Shed; R = Romndy Hut; N = Nissen Hut; ACCN =Accommodation)

North Buildings
(Total 56 buildings):

No.	Type*	Description & Use	No.	Type*	Description & Use	No.	Type*	Description & Use	No.	Type*	Description & Use
1.	P	B.O.R. Living ACCN.	16.	P	Gurkha Married Quarters	31.	P	Gurkha Married Quarters	46.	M	Workshop
2.	P	Ablutions	17.	P	Gurkha Married Quarters	32.	P	Gurkha Married Quarters	47.	P	Office & Store
3.	P	Gurkha Officer Married Quarter	18.	P	G.O.R. Living ACCN	33.	P	Gurkha Married Quarters	48.	P	Office & Store
4.	P	Gurkha Officer Married Quarter	19.	P	Gurkha Married Quarters	34.	P	School Store	49.	P	Cookhouse & Dining Hall
5.	P	Gurkha Families Welfare Centre	20.	P	Gurkha Married Quarters	35.	P	School	50.	N	NAAFI
6.	P	Offices	21.	P	Gurkha Married Quarters	36.	P	Gurkha Families Medical Centre	51.	P	Ablutions
7.	P	Gurkha Married Quarters	22.	P	Gurkha Married Quarters	37.	P	School	52.	P	Office & Store
8.	P	Gurkha Married Quarters	23.	P	Gurkha Married Quarters	38.	/	/	53.	M	Workshop
9.	P	G.O.R. Living ACCN	24.	P	Gurkha Married Quarters	39.	/	/	54.	P	Latrine
10.	P	Gurkha Married Quarters	25.	P	Gurkha Married Quarters	40.	/	/	55.	P	Workshop
11.	P	Gurkha Married Quarters	26.	P	Gurkha Married Quarters	41.	/	/	56.	P	Oil Store
12.	P	Gurkha Married Quarters	27.	P	School	42.	P	Store	57.	P	G.O.R. Living ACCN
13.	P	Gurkha Married Quarters	28.	P	Offices	43.	P	Guard Room	58.	P	G.O.R. Living ACCN
14.	P	Gurkha Married Quarters	29.	P	Gurkha Married Quarters	44.	N	Store	59.	P	G.O.R. Living ACCN
15.	P	Gurkha Married Quarters	30.	P	Gurkha Married Quarters	45.	N	Model Room	60.	N	Gurkha School

(*: P = Permanent Building; SP = Semi Permanent Building; M = Marston Shed; R = Romndy Hut; N = Nissen Hut; ACCN =Accommodation)

2.3.3 The Hand Over in the 1960s

The construction of the new Ordnance Depot at Kai Tak began in the late 1962 and completed in late 1965, and the construction works of the new barracks at Hilsea followed subsequently, in order to work towards the goal to hand over Whitfield Barracks site by September 1969.

By 1968, there were further discussions on the budget raise for Whitfield Evacuation project. In order to execute the work at Hilsea in maximum speed to ensure early evacuation of Whitfield Barracks, the Hong Kong Government agreed to urgently raise budget by a sum of HKD 767,000³⁹.

In 1969, the Hong Kong Government took over Whitfield Barracks site for Urban Council's repurposing of the site (see the next section for detail). However, the surrender of land by the Ministry of Defence⁴⁰ was only made official by the signing of the "Memorandum of Renunciation of the Remaining Portion⁴¹ of War Department Lot No. 12" on 22 July 1976⁴², in which the Ministry of Defense was waived from the requirement to demolish all structures in the site. The historic British military establishment in Whitfield Barracks finally came to an end.

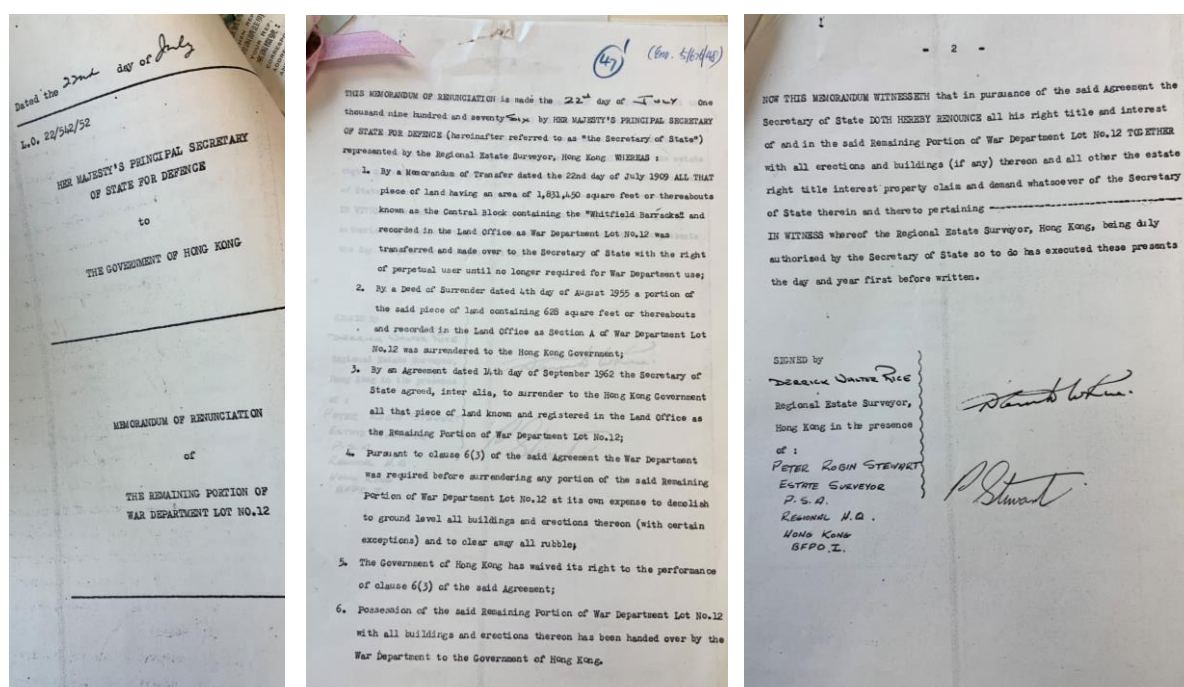


Figure 2-20 The "Memorandum of Renunciation of the Remaining Portion of War Department Lot No. 12", 22 July 1976. (Source: Public Records Office, File No. HKRS 337-4-110)

³⁹ Public Records Office, File No. HKRS 229-1-714, document no. 7-13.

⁴⁰ The War Department (War Office) was dissolved in 1964. Its functions were transferred to the Ministry of Defence.

⁴¹ According to Public Records Office, File No. HKRS 337-4-110, document no. 18-32, a Deed of Surrender dated 4 August 1955 was made, of which a piece of land containing 628 square feet, noted as Section A of War Department Lot No. 12 was surrendered to the Hong Kong Government for Canton Road widening. Whitfield Barracks site had become Remaining Portion of War Department Lot No. 12 since then.

⁴² Public Records Office, File No. HKRS 337-4-110, document no. 47.



Figure 2-21 Another view South from the Shamrock <https://gwulo.com/node/2375/photos>

2.4 The Establishment of Kowloon Park

2.4.1 Deciding the New Use for the Land in the 1960s

There had been discussions among members of the public of Hong Kong since the early 1960s about the possible new use of Whitfield Barracks site. Suggested new uses included to develop for commercial usage in particular the most valuable part facing Nathan Road, and to separate the land into sections for bidding and development into first-class hotels and residence⁴³, in view of the high value of the land – its value was estimated to HK\$ 731 million by the Colonial Government in 1962.⁴⁴ Building the Kowloon City Hall⁴⁵, using it as a permanent venue for Hong Kong Brands and Products Expo⁴⁶ or providing a convention centre for holding international management conference in Hong Kong were also mentioned.⁴⁷

On the other hand, there was considerable local pressure for additional recreation grounds and parks in the centre of Kowloon⁴⁸. Some members of the public believed that due to the increasing population of Hong Kong, the government should not only allocate part of the land for commercial and residential use in the district, but also provided public recreational facilities⁴⁹ such as botanical garden, open amphitheatre for musical concerts or Chinese

⁴³ 香港工商日報, 14 August 1962.

⁴⁴ 香港工商日報, 9 May 1962.

⁴⁵ 香港工商日報, 29 April 1963.

⁴⁶ 大公報, 17 March 1964.

⁴⁷ South China Morning Post, 18 May 1968.

⁴⁸ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. "Whitfield Barracks" Replacement Scheme.* The National Archive, T225/3043.

⁴⁹ 香港工商日報, 14 August 1962.

Opera, a community centre with a gymnasium and museum,⁵⁰ a swimming pool⁵¹, open spaces/ parks⁵², to meet the demand of the society. This aligned with Sir Patrick Abercrombie's suggestion in his 1948 Hong Kong Preliminary Planning Report.

The Hong Kong Government also realized that they would have to use the site for recreation ground and would only be able to make a portion of it for commercial development, although the financial position of Hong Kong was causing some concern locally and for the first time Hong Kong was faced with the real prospect of a deficit on its annual budget.⁵³

In response to the then Governor Sir Robert Black's order in 1960, a Tsim Sha Tsui Outline Use Zoning Plan LK1/40 (Figure 2-22) was prepared and exhibited in December 1965⁵⁴, with an attempt to balance the public's wish for parks and amenities and the Government's financial concern by zoning the Whitfield Barracks site partly open space (26 out of 42 acres) and partly commercial/ residential. However, objections from the public, including the Urban Council, one of the very important stakeholders, were received⁵⁵.

The zoning plan was revised as LK1/44 (Figure 2-23), in which the area of open space zone had been enlarged, while the reduced commercial/ residential zone would be "subject to further detailed planning to include schools, shopping centre, car parks" and 10% of the zone would be reserved for public open space. However, this did not end the fight for more public spaces, which continued in the next decade.

⁵⁰ *South China Morning Post*, 2 December 1963.

⁵¹ *South China Morning Post*, 16 March 1966.

⁵² *香港華僑日報*, 25 January 1967, *香港工商日報*, 5 April 1967 & *South China Morning Post*, 18 May 1968.

⁵³ *Armed Forces Accommodation and Works Services (Domestic) in Hong Kong. "Whitfield Barracks" Replacement Scheme*. The National Archive, T225/3043.

⁵⁴ *Kowloon Planning Area No. 1 – Tsim Sha Tsui Outline Use Zoning Plan LK1/40 Explanatory Statement*. Town Planning Board, 1965.

⁵⁵ "市政區議員 Arnaldo de Oliverira Sales 提出「市政局要求政府保留整個威菲路兵房作空地」。",

香港工商日報, 5 April 1967 & "Mr [Brook] Bernacchi (one of the then Urban Councilors) said that the Urban Council objected to the fact that a considerable part of the barracks was being converted for commercial use and sold. This should be a public square and civil centre with basketball courts, swimming pools and other recreation facilities. The remainder should be turned into a park", *South China Morning Post*, 18 May 1968.

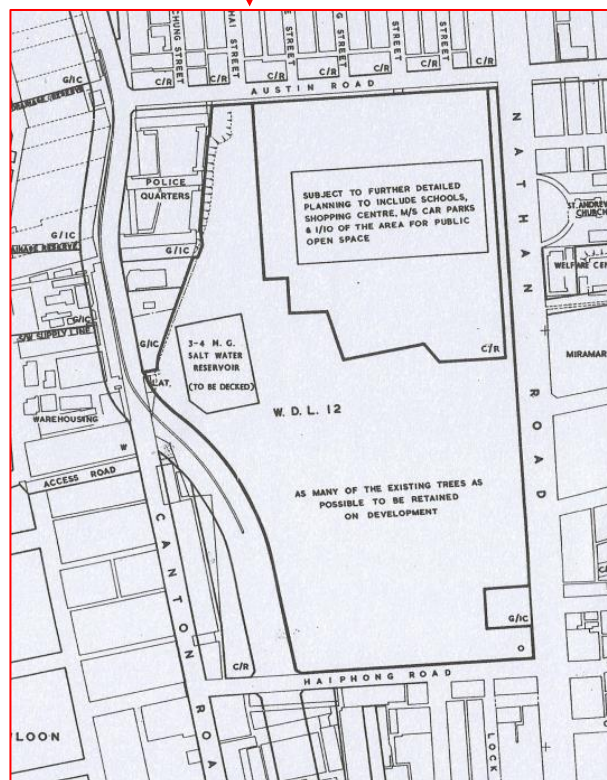
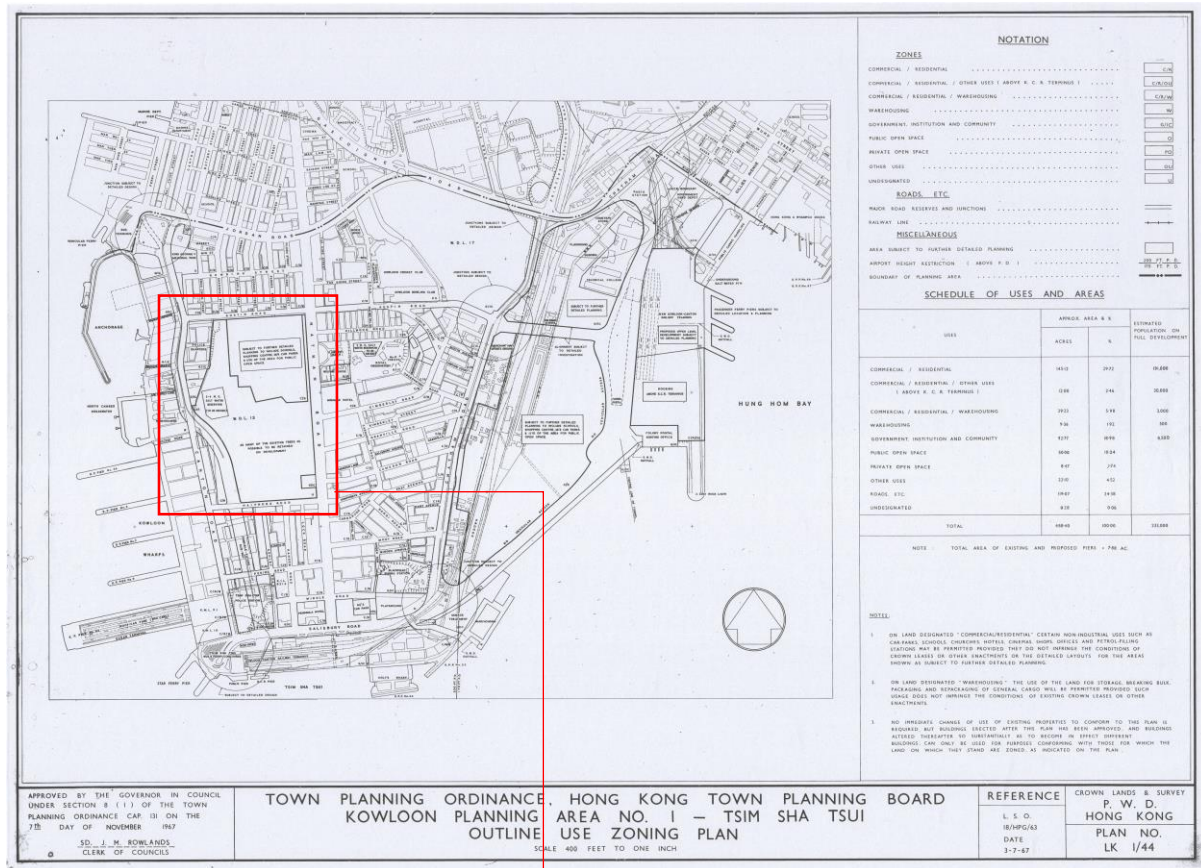


Figure 2-23 Kowloon Planning Area No. 1- Tsim Sha Tsui, Outline Use Zoning Plan LK1/44, drawn in July 1967 and approved by Governor-in-Council on 7 November, 1967. (Source: Planning Department)

2.4.2 Constructing Kowloon Park Stage 1, 1969-70

Around 1967, the same year when the zoning plan concerning Whitfield Barracks site was approved, the Urban Council and Public Works Department started the planning and design works to convert the Open Space zoned portion of Whitfield Barracks site (south and west portions) into a park. By that time, the project was called "Park in Whitfield Barracks Site" or "Whitfield Park". The name "Kowloon Park" had yet been establishment. Various schemes were tried, including the conversion of Blocks D and E (renamed as Blocks S61 & S62 in the 1961 record plan (Figure 2-19) into a library and a museum (Figure 2-25), or the introduction of a swimming pool complex in the middle of the site (Figure 2-24). Block A (renamed as Block S58 in the 1961 record plan) was to be removed in these initial schematic designs.

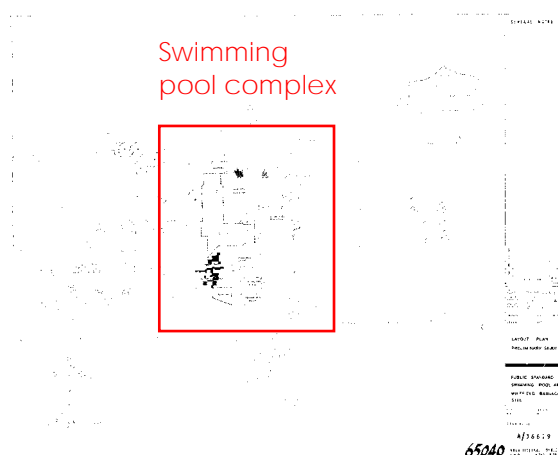


Figure 2-24 Public Standard Swimming Pool at Whitfield Barracks Site, Layout Plan Preliminary Study, Drawing No. A/36619, dated April 1967. (Source: Architectural Services Department, Microfilm No. 65040)

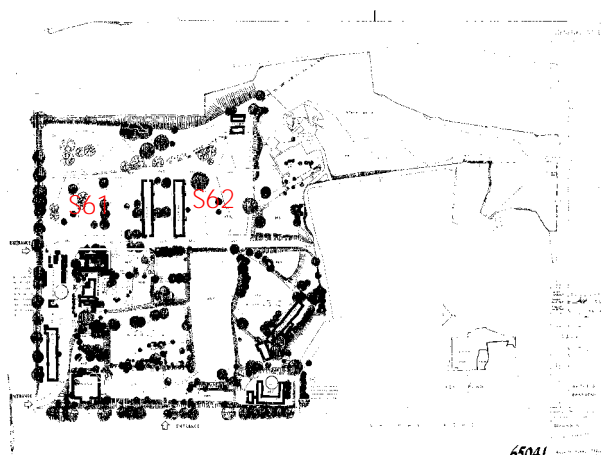


Figure 2-25 Whitfield Barracks, Park Layout Plan, Drawing No. A/39570, dated April 1968. (Source: Architectural Services Department, Microfilm No. 65041)

The scheme design came to an interim conclusion in 1969. It was decided to divide the entire park development into stages and to carry out stage 1 park construction soonest, in order to have a quick win for public enjoyment. The first part of Whitfield Barracks site was handed over to the Hong Kong Government by the Ministry of Defence on 2 September 1968⁵⁶. The Urban Council then took over the site for stage 1 park construction, which included:

1. The demolition of some 70 old barrack buildings in the south of Whitfield Barrack⁵⁷, which should include all buildings within the Kowloon Park Stage 1 site boundary, except South Building Nos. 1-15A, 18-22, 58, 61, 62, 82 and 83 (see Figure 2-24);
2. The construction of a Rose Garden, footpaths and turfed areas⁵⁸.

Although Block S58 was marked as the proposed Urban Services Department Quarters, S61 as the proposed museum and S62 as the proposed art gallery in Kowloon Park Stage 1 drawings (see Figure 2-27), no detail records of the conversion works can be found, so it is estimated that the conversion works of these buildings did not take place in the round of construction. Kowloon Park Stage 1 construction was completed in 1970 and Kowloon Park was officially opened by the then Governor Sir David Trench on 24 June of the same year⁵⁹.

⁵⁶ *South China Morning Post*, 3 September 1968.

⁵⁷ Public Records Office, File No. HKRS 70-8-2484 & File No. HKRS 70-8-2483.

⁵⁸ Public Records Office, File No. HKRS 70-8-2484.

⁵⁹ Architectural Services Department, Microfilm No. 33113.

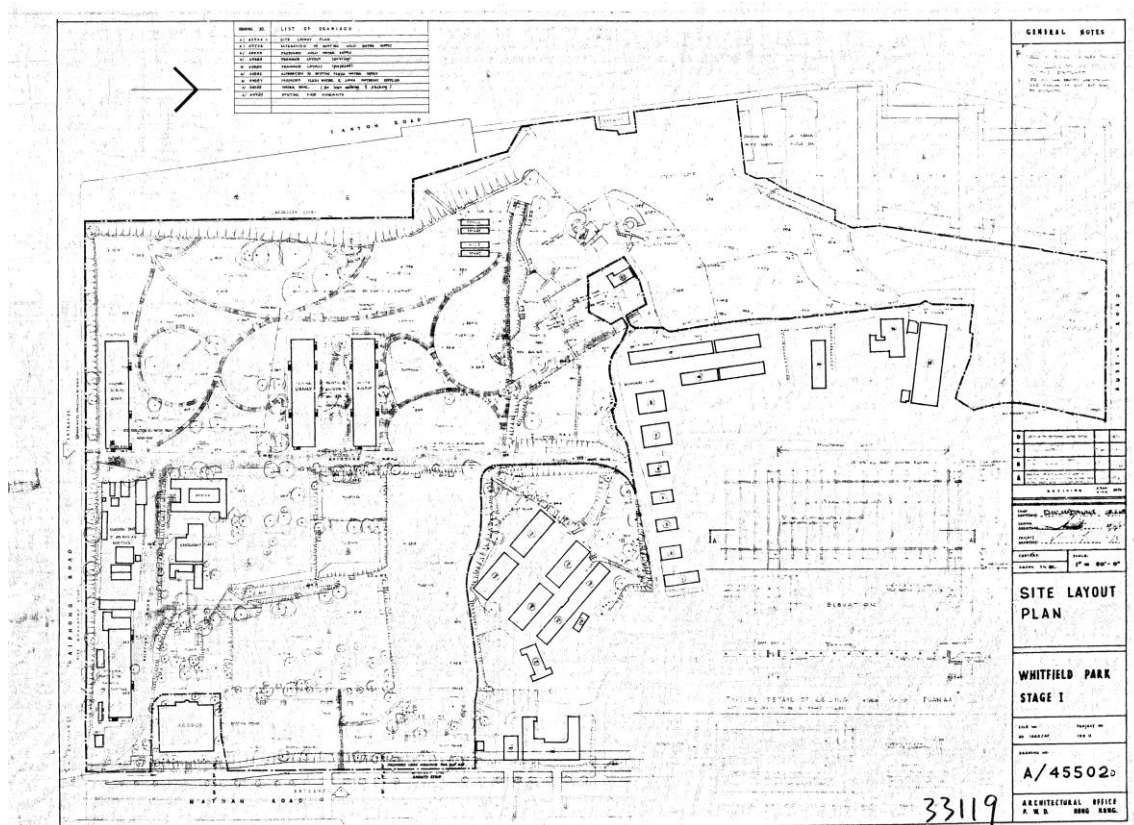


Figure 2-27 Whitfield Park Stage 1, Site Layout Plan, Drawing No. A/45502D, first issued in March 1969, revision D issued on unknown date. (Source: Architectural Services Department, Microfilm No. 33119)

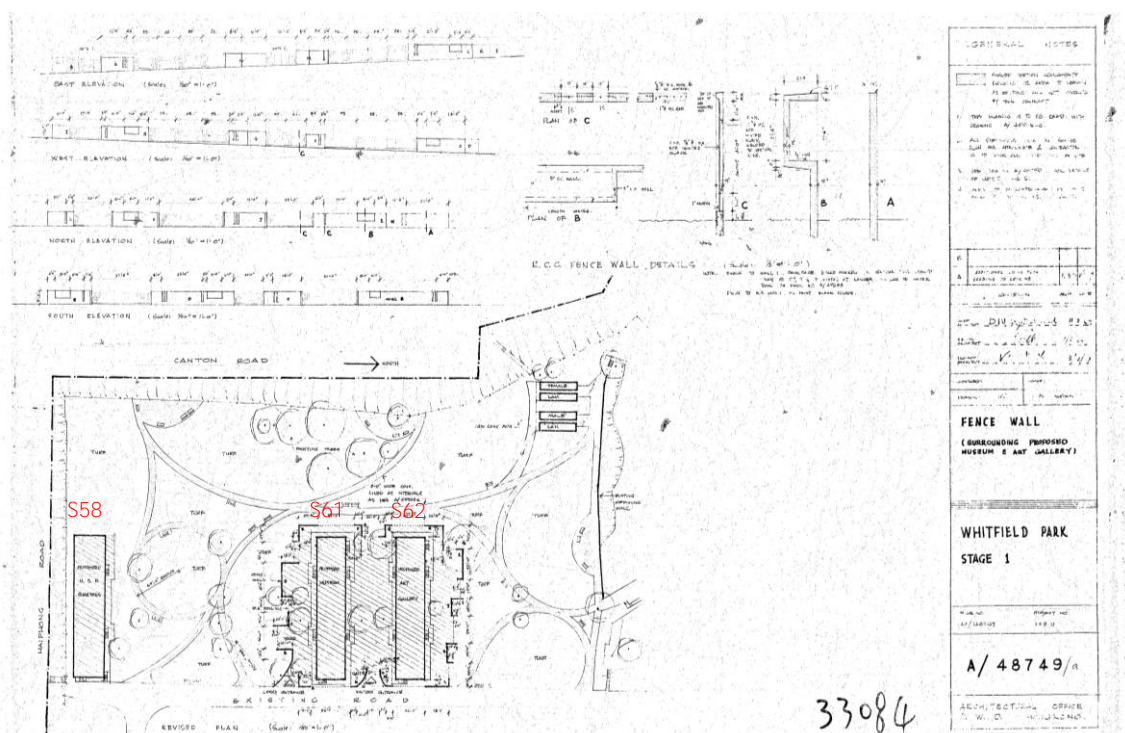


Figure 2-28 Whitfield Park Stage 1, Fence Wall Surrounding Proposed Museum & Art Gallery, Drawing No. A/48749/a, first issued in 1969, revision A issued on unknown date. (Source: Architectural Services Department, Microfilm No. 33084)



Figure 2-29 Site formation for Kowloon Park, viewing from Nathan Road to the West, 9 May 1969.

(Source: Hong Kong Public Library MMIS, 24 November 2022 accessed:

[https://mmis.hkpl.gov.hk/coverpage/-](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverpage=WAR_mmisportalportlet_actual_q=%28%20%28%20%2Ball_dc.title%3A%28whitfield%29%20%29%29%20AND+%28%20verbatim_dc.category%3A%28%22Image%22%29%20%29&coverpage=WAR_mmisportalportlet_sort_field=score&p_r_p_-1078056564_c=QF757YsWv59%2F9WIUSQ5I78oYJhUnzH15&coverpage=WAR_mmisportalportlet_o=4&coverpage=WAR_mmisportalportlet_sort_order=desc)

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Figure 2-30 Site formation for Kowloon Park, viewing from Nathan Road to the West, 9 May 1969. Note Block E (or Block S62) in the middle and Block D (or Block S61) behind it. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed: [https://mmis.hkpl.gov.hk/coverpage/-](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?p_r_p_-1078056564_c=QF757YsWv59%2F9WIUSQ5I71Kc2BRatUKt&coverpage=WAR_mmisportalportlet_ref=LPEC03)

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Figure 2-31 Site formation for Kowloon Park, viewing from Canton Road to the East, 9 May 1969. Note Block A (or Block S58 on the right and Block G (or Block S4) on the far right. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed: [https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?p_r_p-](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?p_r_p-1078056564_c=QF757YsWv59%2F9WIUSO5I7yLPYu3tRdqs&coverpage_WAR_mmisportalportlet_o=2&coverpage_WAR_mmisportalportlet_actual_q=%28%20%28%20%2Ball_dc.title%3A%28whitfield%29%20%29%29%20AND+%28%20verbatim_dc.category.category%3A%28%22Image%22%29%20%29%29&coverpage_WAR_mmisportalportlet_sort_order=desc&coverpage_WAR_mmisportalportlet_sort_field=score&coverpage_WAR_mmisportalportlet_log=Y&tabs1=FILE_DOWNLOAD)

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Figure 2-32 Kowloon Park official opening by the Governor Sir David Clive Crosbie Trench (second right), 24 June 1970. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed: [https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverpage_WAR_mmisportalportlet_actual_q=%28%20%28%20%2Ball_dc.title%3A%28kowloon%29%20AND+%2Ball_dc.title%3A%28park%29%20%29%29%20AND+%28%20verbatim_dc.category.category%3A%28%22Image%22%29%20%29%29&coverpage_WAR_mmisportalportlet_sort_field=score&p_r_p-](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverpage_WAR_mmisportalportlet_actual_q=%28%20%28%20%2Ball_dc.title%3A%28kowloon%29%20AND+%2Ball_dc.title%3A%28park%29%20%29%29%20AND+%28%20verbatim_dc.category.category%3A%28%22Image%22%29%20%29%29&coverpage_WAR_mmisportalportlet_sort_field=score&p_r_p-1078056564_c=QF757YsWv59ZSBEnL5PPdILGesN3cJG3&coverpage_WAR_mmisportalportlet_o=4&coverpage_WAR_mmisportalportlet_sort_order=desc)

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Figure 2-33 The Governor Sir David Trench took part in a traditional eye-dotting ceremony to kick off a ceremonial lion dance (third left) during Kowloon Park's official opening, 24 June 1970. (Source: Hong

Kong Public Library MMIS, 24 November 2022 accessed: [https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverage%20WAR%20mmisportalportlet.actual.q=%28%20%28%20%2Ball.dc.title%3A%28kowloon%29%20AND+%2Ball.dc.title%3A%28park%29%20%29%29%20AND+%28%20verbatim.dc.category.category%3A%28%22Image%22%29%20%29&coverage%20WAR%20mmisportalportlet.sort.field=score](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverage%20WAR%20mmisportalportlet.actual.q=%28%20%28%20%2Ball.dc.title%3A%28kowloon%29%20AND+%2Ball.dc.title%3A%28park%29%20%29%29%20AND+%28%20verbatim.dc.category.category%3A%28%22Image%22%29%20%29&coverage%20WAR%20mmisportalportlet.sort.field=score&p.r.p.-)

[&p.r.p.-1078056564.c=QF757YsWv59ZSBEnL5PPdhy5tldjf1tz&coverage%20WAR%20mmisportalportlet.o=2&coverage%20WAR%20mmisportalportlet.sort.order=desc](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverage%20WAR%20mmisportalportlet.o=2&coverage%20WAR%20mmisportalportlet.sort.order=desc))



Figure 2-34 After the opening ceremony, there was China folk dance performance presented by the students from the Alliance Primary School Tai Hang Tung at Block S4, after the Kowloon Park opening ceremony, 24 June 1970. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed:

<https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverage%20WAR%20mmisportalportlet.actual.q=%28%20%28%20%2Ball.dc.title%3A%28kowloon%29%20AND+%2Ball.dc.title%3A%28park%29%20%29%29%20AND+%28%20verbatim.dc.category.category%3A%28%22Image%22%29%20%29&coverage%20WAR%20mmisportalportlet.sort.field=score>

[&p.r.p.-1078056564.c=QF757YsWv59ZSBEnL5PPdmpmM%2BoAI3oM&coverage%20WAR%20mmisportalportlet.o=3&coverage%20WAR%20mmisportalportlet.sort.order=desc](https://mmis.hkpl.gov.hk/coverpage/-/coverpage/view?coverage%20WAR%20mmisportalportlet.o=3&coverage%20WAR%20mmisportalportlet.sort.order=desc))

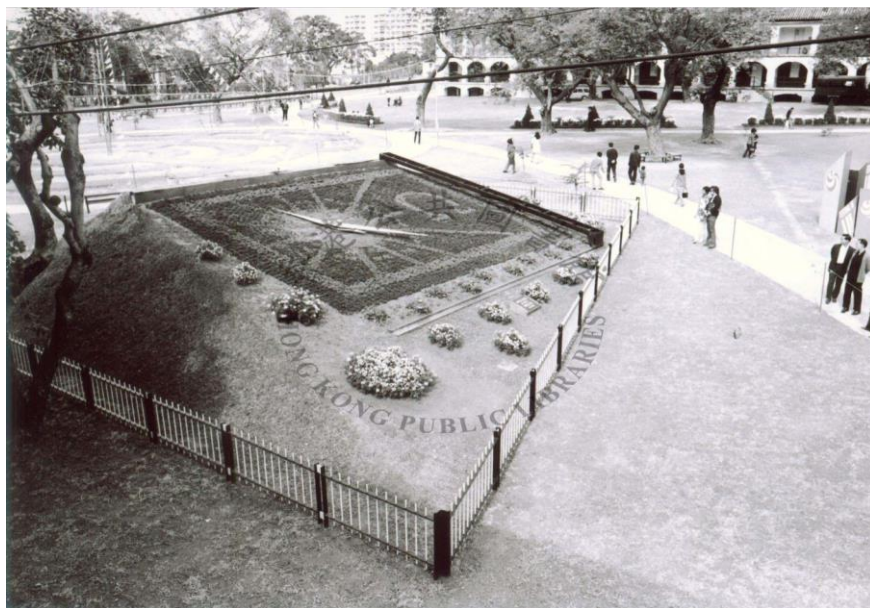


Figure 2-35 A view in Kowloon Park, with the Flower Clock in the park, Block D (or Block S61) in the background and Police Quarters on Canton Road at further back, 25 November 1971. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed: https://mmis.hkpl.gov.hk/coverage/-/coverage/view?coverage=WAR_mmisportalportlet_hsf=kowloon+park+&coverage=WAR_mmisportalportlet_actual_q=%28%20%28%20allTermsMandatory%3A%28true%29%20OR+all_dc.title%3A%28kowloon+park+%29%20OR+all_dc.creator%3A%28kowloon+park+%29%20OR+all_dc.contributor%3A%28kowloon+park+%29%20OR+all_dc.subject%3A%28kowloon+park+%29%20OR+fulltext%3A%28kowloon+park+%29%20OR+all_dc.description%3A%28kowloon+park+%29%20AND+%28%20dc.category.category%3A%28Photo%29%20OR+dc.category.category%3A%28Poster%29%20OR+dc.category.category%3A%28Image%29%20%29%20%29&coverage=WAR_mmisportalportlet_sort_field=score&p_r_p_-1078056564_c=QF757YsWv59H%2FuxqfBwEJBq9HYOVkzuT&coverage=WAR_mmisportalportlet_o=8&coverage=WAR_mmisportalportlet_sort_order=desc&coverage=WAR_mmisportalportlet_filter=dc.publicationdate_dt%3A%5B1970-01-01T00%3A00%3A00Z+TO+1979-12-31T15%3A59%3A59Z%5D)

2.4.3 Constructing Kowloon Park Stage 2 in the 1970s

The planning of Kowloon Park Stage 2 Development started immediately after ironing out Phase 1 works, but its construction could only be started in the late 1970s, almost a decade after Phase 1 construction. There were two main reasons for the long delay:

- 1) The ongoing battle between park-use or commercial-use of the land, triggering the review of Outline Zoning Plan and the park area;
- 2) The construction of Mass Transit Railway (MTR hereafter), which occupied quite a large area of the land until 1980⁶⁰.

Despite the approval of Outline Use Zoning Plan LK1/44 in 1967, the Urban Council had continued to fight for years since after, to ensure that Whitfield Barracks site could become a park in the very congested Kowloon⁶¹. A proposed phasing plan of Kowloon Park Development in June 1975 (Figure 2-37) showed that the planned extent of Kowloon Park was enlarged to include the north portion of Whitfield Barracks site, except the land reserved for the proposed Tsim Sha Tsui Kai Fong Hall and School, the proposed multi-storey car park, and a police station near Austin Road. Excluding the park portion at Haiphong Road-Nathan Road junction and another park portion facing Nathan Road that were occupied by Mass

⁶⁰ Public Records Office, File No. HKRS 70-8-2483.

⁶¹ Public Records Office, File No. HKRS 70-8-2484.

Transit Railway work site by that time, a land in the middle being reserved for future swimming pool complex development and the developed Stage 1 park area, the remaining park land was assigned as Stage 2 Kowloon Park development and was further divided in 4 phases.

About the same time, the Hong Kong Government exhibited a revised Outline Zoning Plan LK1/56 (Figure 2-36), which mostly align the Kowloon Park enlargement shown in the 1975 phasing plan, except the inclusion of a strip of “under-park” shops fronting Nathan Road. This inclusion of shops, although being officially objected by the Urban Council and denounced by its then Chairman, Mr. A. de O. Sales as a “disastrous” town planning proposal⁶², was incorporated in the proposed master plan of Kowloon Park Development prepared by the Architectural Office of Public Works Department in 1976 (Figure 2-38).

With this planning argument and MTR construction ongoing, the 4 phases of Stage 2 development were completed by 1980 as below:

- Phase 1 - A Games Area consisting of a mini-soccer pitch, three basketball courts, toilets, changing rooms, a refreshment kiosk and a rest garden completed in May 1977⁶³,
- Phases 2 & 3 – A 1.5 hectare Hong Kong's first full-sized traditional Chinese Garden including pavilions, lotus ponds and viewing arcades opened in October 1979 at a cost of HKD 2 million⁶⁴,
- Phase 4 – An Aviary opened in June 1980 at a cost of HKD 2.4 million⁶⁵.

During this era, Block S4 was used by MTR work site (probably as a site office) while Blocks S58, S61 & S62 were used by various sections of Urban Services Department (USD hereafter). In 1975, Block S58 housed a store for Festival of Hong Kong (2/3 on G/F), a store of Entertainment Section of (1/3 on G/F) and Hong Kong Music Association's Youth Orchestra (1/F); S61 housed a museum store (1/10 on G/F), the Supplies Section Kowloon Store (9/10 on G/F) and was vacant on 1/F due to roof leakage; S62 housed the Beach Section Store of New Territories Division (1/2 on G/F) and the Supplies Section Kowloon Store (1/2 on 1/F). It is believed that in later year of the decade, there were adjustment in usage - Block S58 as museum workshop and store on G/F and study rooms on 1/F, Block S61 as the main store for Kowloon Regions of Supplies Section, and Block S62 as Entertainment Section Store & Kowloon Region Store on G/F and Kowloon Region Store & classrooms for training of “Gardens” staff on 1/F⁶⁶.

Buildings in the north portion of Whitfield Barracks had yet been demolished and a number of them were occupied temporarily by various government departments, such as Information Services Department, Government Supplies Department, Judiciary, Labour & Mines Department, etc. (Figure 2-38)

⁶² Public Records Office, File No. HKRS 70-8-2484.

⁶³ Public Records Office, File No. HKRS 70-8-2484.

⁶⁴ Public Records Office, File No. HKRS 70-8-2483 & HKRS 70-8-2484.

⁶⁵ Public Records Office, File No. HKRS 70-8-2483.

⁶⁶ Public Records Office, File No. HKRS 1105-1-9, document no. 1.



Figure 2-37 Proposed phasing plan of Kowloon Park Development, June 1975. (Source: Extract from an Urban Council Discussion Paper, Public Records Office, File No. HKRS 1105-1-9)

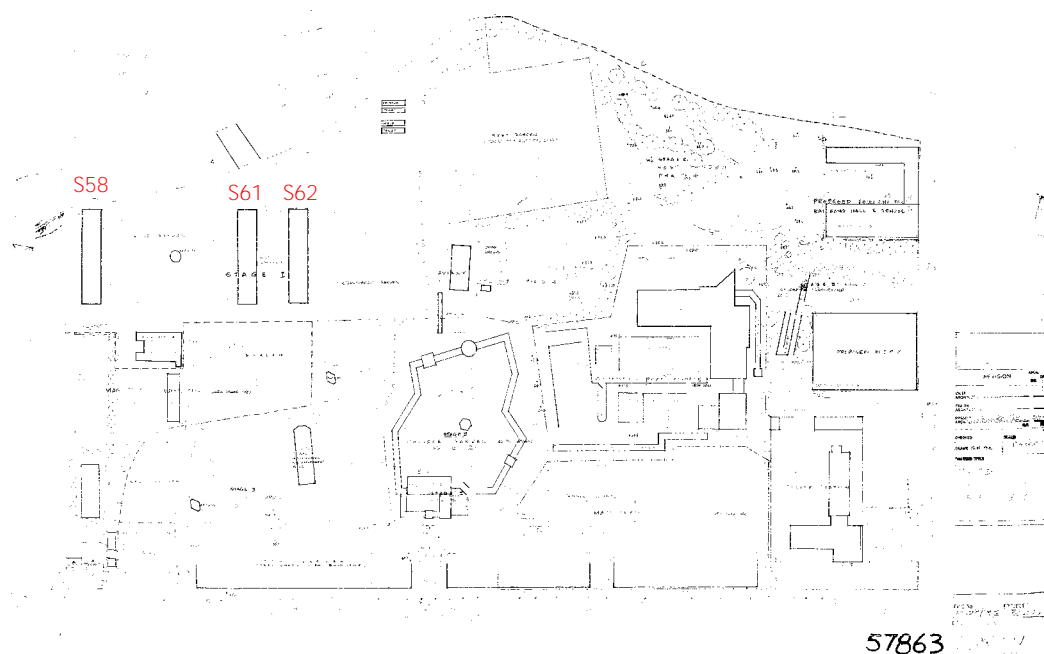


Figure 2-38 Master Plan of Kowloon Park Development, Drawing No. A/80081A, dated July 1976. (Source: Architectural Services Department, Microfilm No. 57863)



Figure 2-39 A general view of Kowloon Park from Canton Road, 16 June 1976. Note Block S58 on the right and Blocks S61 & S62 in the middle. Kowloon Park Drive had yet been built so Block S58 west side elevation was still fronting a turfed area. (Source: Hong Kong Public Library MMIS, 24 November 2022 accessed: <https://mmis.hkpl.gov.hk/coverage/-/coverage/view?coverage=WAR:mmisportalportlet:hsf=kowloon+park+&coverage=WAR:mmisportalportlet:actual:q=%28%20%28%20allTermsMandatory%3A%28true%29%20OR+all+dc.title%3A%28kowloon+park+%29%20OR+all+dc.creator%3A%28kowloon+park+%29%20OR+all+dc.contributor%3A%28kowloon+park+%29%20OR+all+dc.subject%3A%28kowloon+park+%29%20OR+fulltext%3A%28kowloon+park+%29%20OR+all+dc.description%3A%28kowloon+park+%29%20%29%20AND+%28%20dc.category:category%3A%28Photo%29%20OR+dc.category:category%3A%28Poster%29%20OR+dc.category:category%3A%28Image%29%20%29%20%29&coverage=WAR:mmisportalportlet:sort:field=score&p:1078056564+c=QF757YsWv59ZSBEnL5PPdj5UqCf2yc1Q&coverage=WAR:mmisportalportlet:o=5&coverage=WAR:mmisportalportlet:sort:order=desc&coverage=WAR:mmisportalportlet:filter=dc.publicationdate:dt%3A%5B1970-01-01T00%3A00%3A00Z+TO+1979-12-31T15%3A59%3A59Z%5D>)

2.4.4 The Comprehensive Development in the 1980s

With MTR construction quitting the site, Kowloon Park development entered a new era in the 1980s.

A comprehensive development proposal for Kowloon Park was prepared by the Architectural Office of Public Works Department in around mid-1981 and approved by the Urban Council in November of the same year⁶⁷. It reviewed the existing facilities of the Park and undeveloped land, and aimed at a comprehensive design that was *“able to achieve better distribution of active and passive recreational facilities with the Park, to provide a more economical use of both land and other natural resources and, above all, to meet the need of the public at large”*⁶⁸. There were 14 areas of different development themes in the proposal, namely:

- Area 1 - To be developed into a sitting-out area to take advantage of the mature trees of the side fronting Haiphong Road,
- Area 2 – Mainly for series buildings, park offices, training school for the Headquarters Garden Section of Urban Services Department and a refuse chamber,
- Area 3 – Passive recreation, mainly landscape gardens and sitting-out areas,

⁶⁷ Public Records Office, File No. HKRS 70-8-2483.

⁶⁸ Public Records Office, File No. HKRS 1105-1-9, document no. 48.

- Area 4 – A slat house making use of the existing tunnel behind the aviary,
- Area 5 – The existing aviary,
- Area 6 – To be reserved fitness area where jogging tracks with fitness equipment provided,
- Area 7 – To be used for a swimming pool complex consisting one main pool and a number of open-air teaching/ training pools,
- Area 8 – Mainly a sports and games area where an indoor games hall and a number of ball courts,
- Areas 9 and 10 – Passive recreation, mainly landscape gardens and sitting-out areas;
- Area 11 – The existing Chinese Garden,
- Area 12 – Western style garden,
- Area 13 – Children playground, and
- Area 14 – To be developed for a permanent museum of history⁶⁹.

In this proposal, Blocks S58, S61 and S62 were not to be retained whilst the Museum of History (a permanent one) was to sit in Kowloon Park (Figure 2-40).

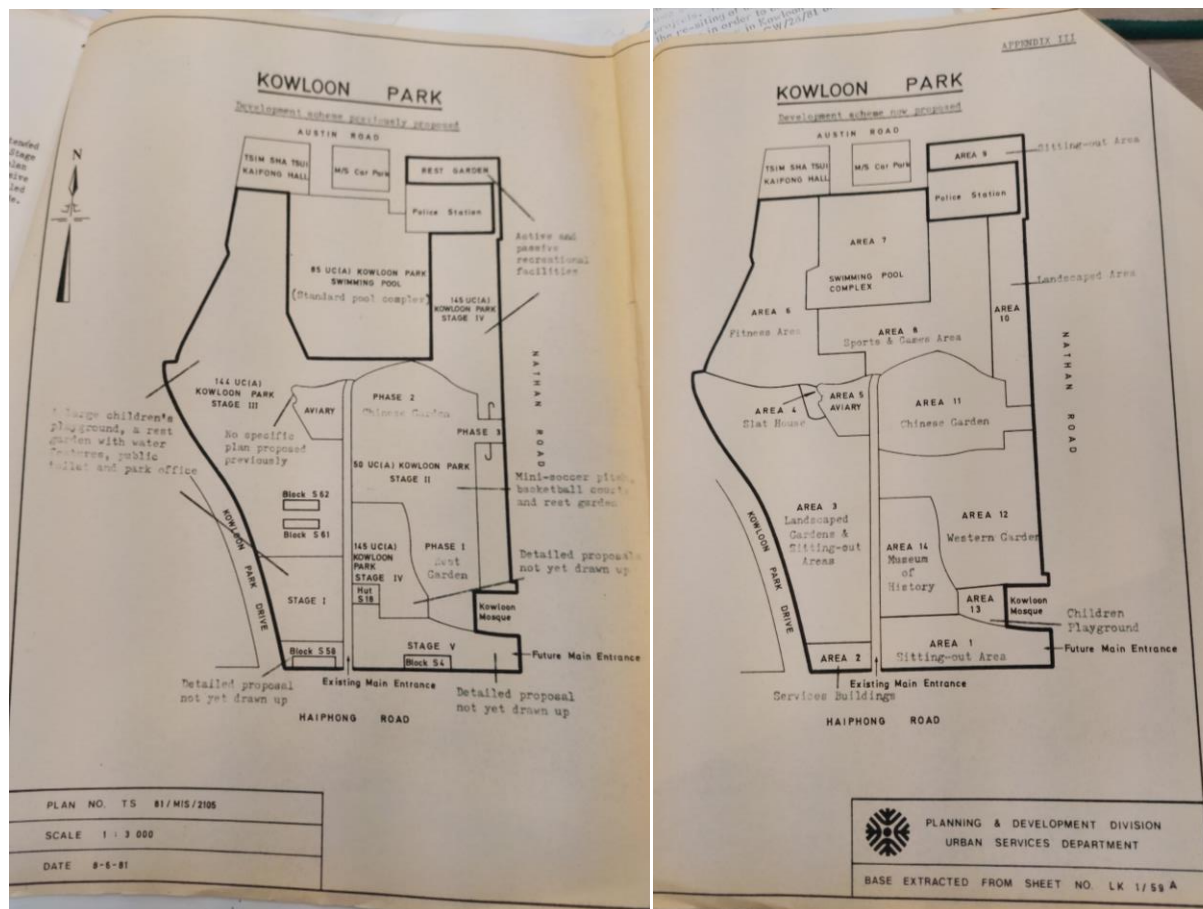


Figure 2-40 Kowloon Park, development scheme previously proposed (left) & new proposed (right), dated 8 June 1981. (Source: Extracted from Recreation Select Committee, Capital Works Select Committee, and Museums Select Committee of Urban Council discussion paper, Public Records Office, File No. HKRS 1105-1-9)

⁶⁹ Public Records Office, File No. HKRS 1105-1-9, document no. 48.

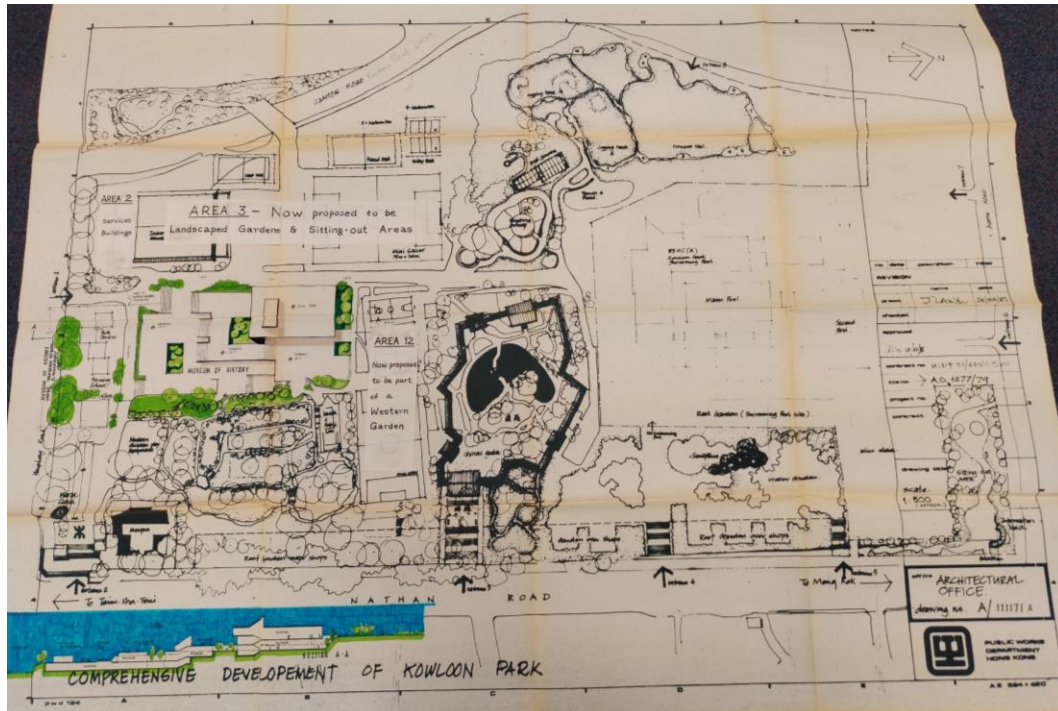


Figure 2-41 Comprehensive Development of Kowloon Park, Drawing No. A/ 111171A, prepared by Architectural Office, Public Works Department, dated 20 March 1981. This architectural layout plan aligned with the zoning of the 14 areas shown in Figure 2-40. (Source: Extracted from Recreation Select Committee, Capital Works Select Committee, and Museums Select Committee of Urban Council discussion paper, Public Records Office, File No. HKRS 1105-1-9)

However, this 1981 proposal was not executed due to changes in plans for considering three subsequent happenings:

- The need to incorporate the row of shops occupying an area along the side of the Park front Nathan Road that the Government in 1982 decided to proceed⁷⁰,
- The need to seek a land for re-sitting Murray House, a historic military building in Central, which was to be dismantled in 1982 to make way for land sale, and
- The need to move Museum of History (either temporarily or permanently) to the Park from 4/F Star House (a rented place inside a privately-owned commercial premise, which would soon be retrieved by the owner for redevelopment).

The latter two were bundled for discussion in the Urban Council in the early 1980s. Feasibility of various options was explored, including 1) to resit Murray House in Areas 2 & 3 of Kowloon Park and to construct a new building for a permanent Museum of History in Area 14 (Figure 2-42) to re-erect Murray House in the Park and to use its interior as the temporary Museum of History so as to kill two birds with one stone⁷¹, and 3) to re-erect Murray House in Victoria Barracks a few years later after its dismantling⁷² and to convert Block S61 and S62 for housing the temporary Museum of History before a new building for the museum was erected and ready for use.

⁷⁰ Public Records Office, File No. HKRS 70-8-2483.

⁷¹ Public Records Office, File No. HKRS 1105-1-12, document no. 1.

⁷² Public Records Office, File No. HKRS 1105-1-12, document no. 1.

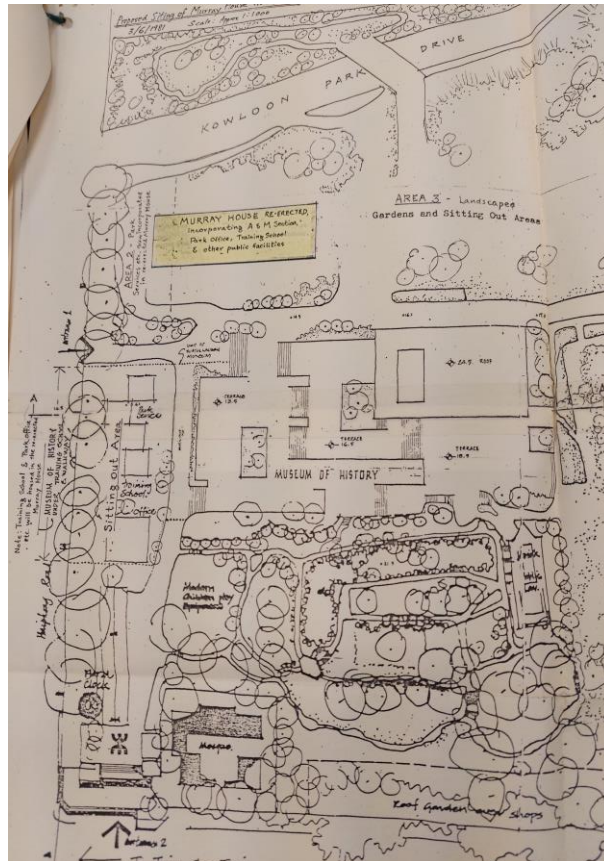


Figure 2-42 A sketch plan to explore feasibility to resit Murray House in Kowloon Park, 1981. (Source: Public Records Office, File No. HKRS 1105-1-12, document no. 1)

The first and second options were ruled out in later 1981, as Murray House was found neither cost-efficient to be converted to Museum of History's use nor fitting in the Park layout⁷³. Option 3 was halfly adopted – Murray House was not housed in both Whitfield and Victoria Barracks at the end, but Block S61 and Block S62 were converted to the Museum of History at a cost of HKD 9 million according to the plan, aiming to house the museum temporarily before the permanent building for the museum in Tsim Sha Tsui East was ready. It opened in March 1983⁷⁴.

Block S58 continued to accommodate supporting facilities of the museum, including the conservation laboratories, the reference collections for archaeology and natural history which were accessible to bonafide researchers and student groups, as well as the added sheds with concrete immersion tanks and weight lifting equipment for conservation of large items such as old cannons and lamp posts⁷⁵.

With Murray House and Museum of History's arrangement settled, the overall Kowloon Park Development Plan was announced again in February 1982⁷⁶ (Figure 2-43) with slight adjustment from the 1981 plan.

⁷³ Public Records Office, File No. HKRS 1105-1-12, document no. 1.

⁷⁴ Public Records Office, File No. HKRS 1105-1-12, document no. 1.

⁷⁵ Public Records Office, File No. HKRS 1105-1-12, document no. 1.

⁷⁶ Public Records Office, File No. HKRS 70-8-2483.

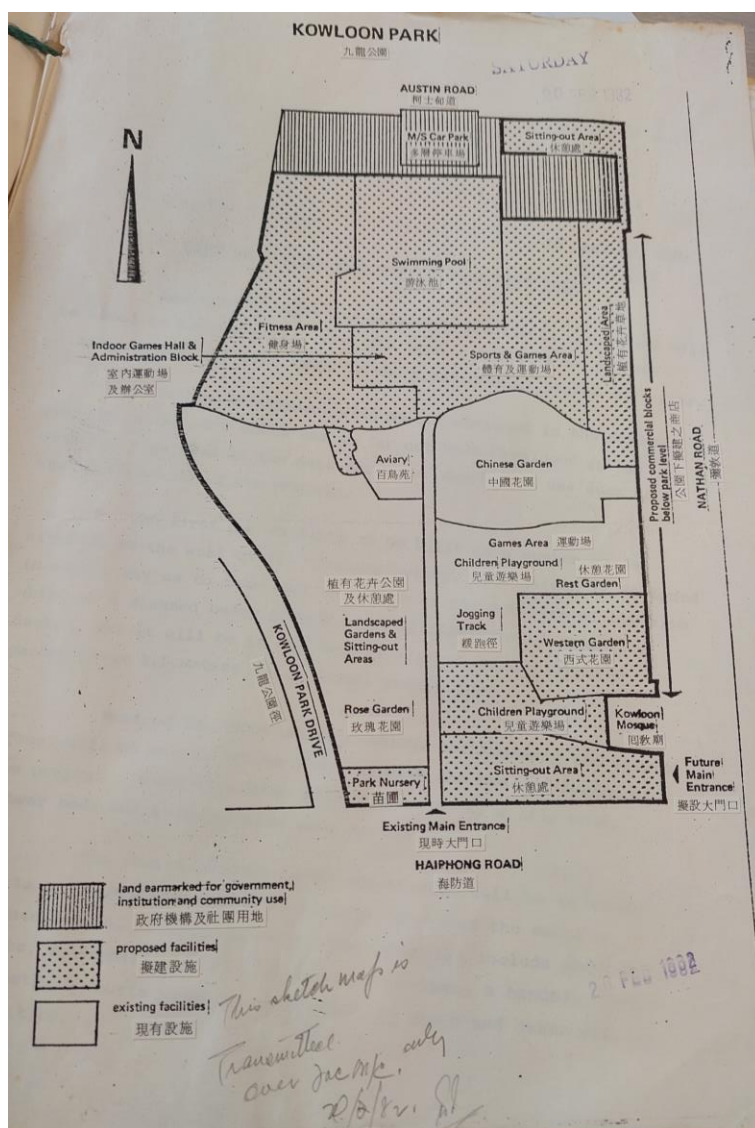


Figure 2-43 Kowloon Park Development Plan, 1982. The proposed areas to be developed are hatched in dots. (Source: Public Records Office, File No. HKRS70-8-2483)

Likely due to financial and resources concern, the Urban Council planned to execute this 1982 Development Plan, again, in phases. A sunken garden next to the Aviary (Area 4), a 1kilometre long fitness trail at northwest (Area 6) and a sitting out area at Austin Road and Nathan Road junction (Area 9) were completed in 1985, 1985 and 1987 respectively⁷⁷. However, the execution for remaining park areas to be developed was put on hold in the mid-1980s, due to the popularity and thus the need to expand the temporary Museum of History in Blocks S61 and S62, and the Hong Kong Jockey Club's offer in 1986 to fund Kowloon Park comprehensive development with a cost up to HKD 300 million⁷⁸.

In 1985, E. Verner Johnson and Associates, an US based museum consultant was appointed by the Urban Council to study and suggest options for expanding the temporary Museum of History. It was decided to put forward alteration and addition works to Block S61 and S62, including to roof-cover their backyard for more museum spaces, as well as renovations works

⁷⁷ Public Records Office, File No. HKRS 1105-1-12 document no. 11 & HKRS 70-8-2485.

⁷⁸ Public Records Office, File No. HKRS 70-8-2485.

to Block S58 to give more museum storage and workshop spaces⁷⁹. The works were carried out between 1986-89 under the supervision of Government Architect.

Except these three barrack buildings and Block S4, the remaining areas in Kowloon Park, including the most costly swimming pool complex, were constructed between 1987-89 under the supervision of a joint team formed by Simon Kwan & Associates, a local architectural firm and Derek Walker and Associates, an UK-based leisure facility design expert.

The entire development of Kowloon Park, with a total area of 13.3 hectares, could finally be completed in 1989.

After 1989, three of the four barrack buildings that remain in site have been further reused. Blocks S61 and S62, after the Museum of History moved out in 1998, have been used as Heritage Discovery Centre since 2005. Block S4 has been served as the Health Education Exhibition and Resource Centre since 1997. However, Block S58 remains as the supporting for Museum of History, though it is more a museum store than a museum workshop nowadays. It was renovated during 1986-89 to give more storage and workshop spaces. Repair or improvement works were further carried out after that, including a repair to the collapsed roof in 2000 and MVAC improvement works in 2006.

2.5 Timeline of Whitfield Barracks and Block S58

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
Kowloon Peninsula was ceded to UK. Troops in Hong Kong moved in.	1860	
Site for barracks in Kowloon (later named Whitfield) was assigned to War Office.	1864	
Construction of roads around the site for barracks in Kowloon commenced.	1865	
The name Whitfield Barracks was first recorded in government documents (in Hong Kong Blue Book).	1891	
	1891-95	The very first batch of permanent barrack buildings were constructed in Whitfield Barracks, including Blocks A, (i.e. later called Block S58), B, C, H, I, J and Armoury.

⁷⁹ Public Records Office, File No. HKRS 1105-1-12 document no. 1.

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
	By 1901	Block G (later called Block S4) and a mosque were constructed.
Memorandum of Transfer of the I and "War Department Lot No. 12" of a total area of 1,831,450 square feet was formally made.	1909	
	By 1911	66 buildings were constructed in the south half of Whitfield Barracks, including Block D (later Block S61), Block E (later Block S62) and Block F.
Over a hundred buildings were completed, occupying the entire Whitfield Barracks, both south and north portions. Whitfield Barracks was also called "Whitfield Barracks and Camp", of which camp referred to the north portion.	By 1923	
Precaution work including air raid tunnels and shelters were added underneath Whitfield Barracks to prepare for war.	1936-41	
It is believed that Whitfield Barracks was used as internment camp during the Japanese Occupation. After the British Force reoccupied Hong Kong, the prisoners of war were accommodated in Whitfield Barracks.	1941-45	
Sir Patrick Abercrombie submitted a report about town planning of Hong Kong, which suggested to turn Whitfield Barracks into a Park.	1948	
	By 1950s	Pitched roofs at verandahs became flat roofs.

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
War Department and the Hong Kong Government agreed on a "Triangular Move" scheme, in which Whitfield Barracks would be surrendered to Hong Kong Government while the troops would move to the new barracks in Hilsea.	1962	
Tsim Sha Tsui Outline Use Zoning Plan LK1/40 was exhibited. Whitfield Barracks site was zoned partly open space and partly commercial/ residential. The Plan was revised as LK1/44 and approved. Open space zone in Whitfield Barrack site was enlarged.	1965-67	
Ministry of Defence handed over the first part of Whitfield Barracks to the Hong Kong Government. The Urban Council took over the site for Kowloon Park stage 1 construction.	1968	Block S58 was marked as the proposed Urban Services Department Quarters, S61 as the proposed museum and S62 as the proposed art gallery in Kowloon Park Stage 1 drawings, but the works did not take place.
Ministry of Defence handed over the entire Whitfield Barracks to the Hong Kong Government.	1969	
Kowloon Park Stage 1 construction was completed. Kowloon Park was officially opened.	1970	
MTR TST station was constructed. The construction occupied a large area of Whitfield Barracks site and delayed Kowloon Park development.	1970s	Block S4 was included in MTR work site.
Outline Zoning Plan LK/56 was exhibited. The open space zone in Whitfield Barrack site was further enlarged but a strip of shops fronting Nathan Road was included.	1975	Block S58 housed a store for Festival of Hong Kong, a store of Entertainment Section and Hong Kong Music Association's Youth Orchestra. Block S61 housed a

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
		museum store and the Supplies Section Kowloon Store. Block S62 housed the Beach Section Store of New Territories Division and the Supplies Section Kowloon Store.
A proposed phasing plan and master plan of Kowloon Park Development, reflecting the open space zone enlargement, was prepared by Architectural Office of Public Works Department. Kowloon Park Stage 2 development area was indicated.	1975-76	
Memorandum of Renunciation of the Remaining Portion of War Department Lot No. 12 was signed between the Hong Kong Government and the Ministry of Defence.	1976	
Buildings in the north portion of Whitfield Barracks had yet been demolished and a number of them were occupied temporarily by various government departments.	Late 1970s	Block S58 was used as museum workshop, museum store, and study rooms. Block S61 was used as the main store for Kowloon Regions of Supplies Section. Block S62 was used as Entertainment Section Store, Kowloon Region Store and classrooms for training of "Gardens" staff.
Kowloon Park Stage 2 was constructed in 4 phases.	1977-80	
A comprehensive development proposal for Kowloon Park, including areas occupied by MTR construction previously, was prepared by the Architectural Office of Public Works Department and approved by the Urban Council. 14 areas of different themes and usages were shown.	1981	

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
<p>The Hong Kong Government confirmed to proceed the shop development fronting Nathan Road.</p> <p>The Urban Council considered to resit the dismantled Murray House in Kowloon Park and to seek a temporary home for Museum of History.</p> <p>The comprehensive development proposal was revised slightly.</p>	1982	
	1983	<p>The temporary Museum of History in Block S61 and S62 was opened.</p> <p>Block S58 housed supporting facilities of the museum.</p>
3 out of 10 areas to be developed in the 1982 comprehensive development proposal were constructed and opened.	1985-87	
HKJC offered to fund HKD 300 million for Kowloon Park development.	1986	
	1986-89	<p>A&A works was carried out in Block S61 and S62, including to roof over their backyard for museum expansion.</p> <p>Block S58 was renovated to give more storage and workshop spaces.</p>
The remaining areas in Kowloon Park, including the most costly swimming pool complex, were constructed. The entire development of Kowloon Park was finally completed.	1987-89	

Major events in Hong Kong/ developments in Whitfield Barracks		Major developments related to Block S58, S61, S62 and S4
	1997	Health Education Exhibition and Resource Centre opened at Block S4.
	1998	Museum of History moved out Block S61 and S62.
	2000	The collapsed roof of Block S58 was repaired.
	2005	Heritage Discovery Centre at Block S61 and S62 opened.
	2006	Improvement works including MVAC to Block S58 were carried out.

3

ARCHITECTURE

3.1 The Site Context

3.1.1 Location of Whitfield Barracks and Block 58

Historically Whitfield Barracks was sited strategically near the south tip of Kowloon Peninsula. The four roads and private lots surrounding it were planned and developed later to suit the military land. Though not quite noticeable now with the high-rise buildings surrounding Kowloon Park, the entire Whitfield Barracks was located on a plateau higher than street level of these four roads and the row of private lots along Canton Road, which topographically speaking allowed it to oversee and defend the waterway to Victoria Harbour between Stonecutter Island and Green Island and to guard the previous Naval Depot that was located near Whitfield Barracks (See Figure 3-1). Its proximity with adjacent military relics, including the Gun Club Hill Barracks and Kowloon West II Battery, together signifies the military importance of Tsim Sha Tsui in the past.

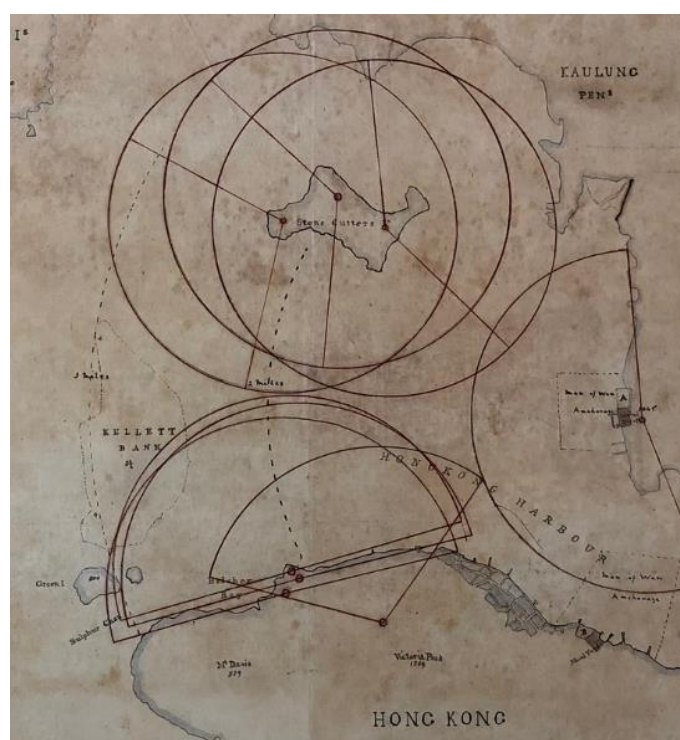


Figure 3-1 An extract and enlarged Map of Hong Kong and surrounding islands, showing forts, barracks and the naval yard at Kowloon and Hong Kong west, 1890. (Source: The National Archives MFQ1/1228/8)

Block 58 was one of the very first built barrack buildings of Whitfield Barracks and was located on the first row facing Haiphong Road. Historically it was the 3rd building from the west on that road (Figure 2-10). However, with the two buildings to its west demolished during the 1960-80s conversion to Kowloon Park and the Kowloon Park Drive established in the mid-1970s and occupied the southwest corner of the Park, Block 58 has become a corner building abutting Haiphong Road and Kowloon Park Drive.



Figure 3-2 Survey Map of Hong Kong, 11-NW-24D dated May 1975 & 11-SW-4B dated June 1975. Note Kowloon Park Drive was established by crafting in the site of Whitfield Barracks/ Kowloon Park. (Source: Survey & Mapping Office, Lands Department)

Nowadays Block 58 still enjoys a view over Haiphong Road from the higher plateau where it sits, but Kowloon Park Drive, which is an elevated highway, is slightly higher than the ground level of Block 58.



Figure 3-3 View to Block 58 from Kowloon Park Drive. The road level of Kowloon Park Drive is higher than Haiphong Road and external ground level of Block 58 (Source: Google Map)



Figure 3-4 View to Block 58 from Haiphong Road. Note Block 58 sitting on a plateau higher than Haiphong Road, and Kowloon Park Drive as an elevated highway crossing Haiphong Road (Source: Google Map)

Block 58 is surrounded by vegetation, in particular, to its south where trees (probably historic as well) are heavily grown on the slope between Haiphong Road and the plateau where it is sited.

There are several entrances of Kowloon Park. The one on Haiphong Road is on the immediate east of Block 58, serving as both pedestrian and vehicular access up to Kowloon Park level. It then leads to a road inside the Park and enters Block 58 on the building's north.



Figure 3-5 A vehicular and pedestrian entrance (red arrow) of Kowloon Park on Haiphong Road, where Block 58 is on its immediate west (Source: Google Map)



Figure 3-6 The Haiphong Road entrance of Kowloon Park leads to a road inside the Park that gives access to Block 58 on the building's north (red arrow) (Source: Google Map)

3.1.2 Development of Buildings in Whitfield Barracks and Kowloon Park

The development of Whitfield Barracks was an accumulative effort of addition and removal of structures from 1864, when the land was assigned to the British War Department, to 1962, when the land was confirmed to be returned to the Hong Kong Government. The "Whitfield Barracks and Camp, Skeleton Record, Drawing No. K/10/61" dated 18 May 1961 (Figure 3-7), captured the last state of Whitfield Barracks and its buildings. The colour coding in Figure 3-7 indicates the built year period of these buildings, derived from this study, using the 1961 Skeleton Plan as a base. These periods are further discussed in the following paragraphs.

On the other hand, the colour coding in Figure 3-8 indicates the function of these building in the 1961, some of which differed from the original use. Some highlights are also discussed in the following paragraphs.



Figure 3-7 Development sequences of buildings in Whitfield Barracks, based on the layout shown in Whitfield Barracks and Camp, Skeleton Record, 18 May 1961, Drawing No. K/10/61. (Source: Public Records Office, File No. HKRS913-1-122 with the Author's edition.)

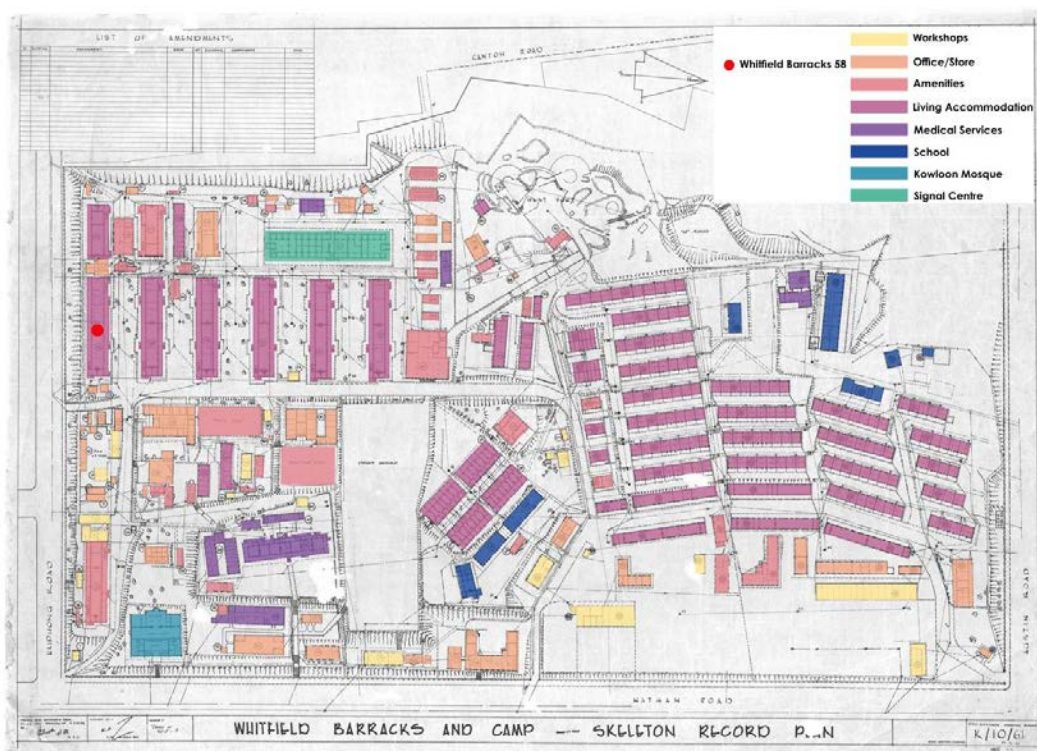


Figure 3-8 Functions of buildings in Whitfield Barracks, based on the layout shown in Whitfield Barracks and Camp, Skeleton Record, 18 May 1961, Drawing No. K/10/61. (Source: Public Records Office, File No. HKRS913-1-122 with the Author's edition)

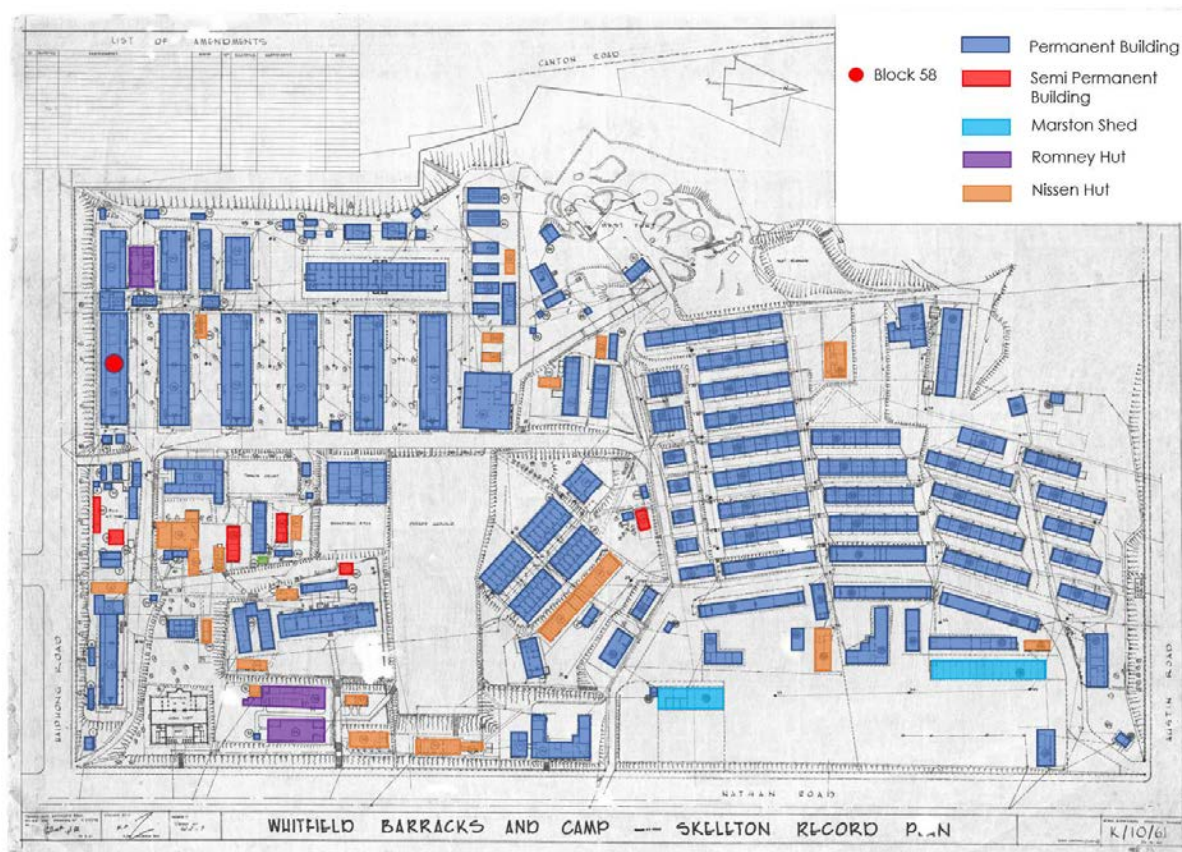



Figure 3-9 Type of buildings in Whitfield Barracks, based on the layout shown in Whitfield Barracks and Camp, Skeleton Record, 18 May 1961, Drawing No. K/10/61. (Source: Public Records Office, File No. HKRS913-1-122 with the Author's edition)

On or before 1878




The earliest set of buildings to be established in the War Department Lot. No. 12 was the West Battery (or Kowloon West II Battery), to strategically defend the waterway entrance to Victoria Harbour. It is worthy noted that, though located within the lot area of the War Department Lot No. 12, the West Battery was not established and managed as part of Whitfield Barracks, thus was not shown in the skeleton record plans of Whitfield Barracks in early years. However, in the 1960s, it was considered for handing over to the Hong Kong Government together with Whitfield Barracks, so was (the first time and the only time) also included in the 1961 Whitfield Barracks and Camp Skeleton Record Plan. Also, though 7 building blocks (Blocks S92-98) were found in the area of Kowloon West II Battery in the 1961 skeleton record plan, it is unsure if they were all built in 1878.


Building/ Structure	Built Year	Photo
Kowloon West II Battery (Or an area housing Blocks Block S92-S98 in 1961)	First established in 1878	 <p>Photo taken in 1958 (Source: Gwulo)</p>

1891-1912

During this period, Whitfield barracks consisted of 9 two-storey barrack blocks (i.e. Blocks A, B, C, D, E, F, G, H, I), a two-storey school building (Block J), the two-storey Armoury, a mosque and the one-storey Asiatic Hospital among with the other associated buildings including latrines, hospital wards, cookhouses and storages.


Buildings of this era were classified as “permanent buildings” in the 1961 skeleton record plan. It is believed that they were buildings built in load-bearing brick walls and timber roof and floor structures, similar to Block A (i.e. current Block 58).

Building	Built Year	Photo
The Armoury (Or Block S67 in 1961) (Permanent building) Originally used for storing weapons and military accessories, 2-storeys	1891-1895	 Photo taken in 1949 (Source: ArchSD)
Blocks A, B, C, H, I (Or Block S58, S59, S60, S64 & S65 in 1961) (Permanent building) Originally 2- storeys barrack buildings to house the British Indian Garrisons	1891-1895	 Photo taken in 1950 (Source: Gwulo)
Blocks J (Or Block S66 in 1961) (Permanent building) Originally a 2-storey school building	1891-1895	
Block G (Or Block S4 in 1961) (Permanent building) Originally a 2-storeys barrack building to house the British Indian Garrisons	1896-1901	
Blocks D, E, F (Or Block S61, S62 & S63 in 1961) (Permanent building) Originally 2- storeys barrack buildings to house the British Indian Garrisons	1902-1911	
The Asiatic Hospital (Or Block S38 & S40 in 1961) (Permanent building) Originally a single storey hospital	1896-1901	 Photo taken in 1949 (Source: ArchSD)

Building	Built Year	Photo
The Kowloon Mosque (Or the Mosque in 1961) Originally built by the Hong Kong Regiment for the 'Mohammedans of Upper India' in 1896, then reconstructed in 1902 ⁸⁰ (the current one was a further reconstruction in 1984, due to extensive damage caused by MTR construction on the 1902 one)	1896	 Photo taken in 1900 (Source: Gwulo)

1913-1922

During this decade, the Whitfield Barrack expanded the built area by adding one-storey blocks to use as native soldiers' quarters and native officer quarters. With the expand in boundary and increase of buildings, the name of site changed to the Whitfield Barracks and Camps. Beside these blocks of accommodations for soldiers, there were "mule stables", which are predicted as structures to house mules. Other the quarters for soldiers, there were also amenities like school, workshop, office and cookhouses build adjacent to it to facilitate the soldiers. In the eastern part of the Whitfield Barracks and Camps, there were an increase of amenities for soldiers, like the tennis court.

Building	Built Year	Photo
One-storey buildings used as native soldiers' quarters, native officer quarters and amenities (Named Block S100, S102, S103, S107 – S111, N1 - N5, N7- N33, N36, N37, N60 in 1961) (Permanent buildings: Block S102, S103, S107 – S111, N1 - N5, N7- N33, N36, N37; Nissen huts: Block S100, N60)	1913-1922	 Photo taken in 1960 (Source: Medium)

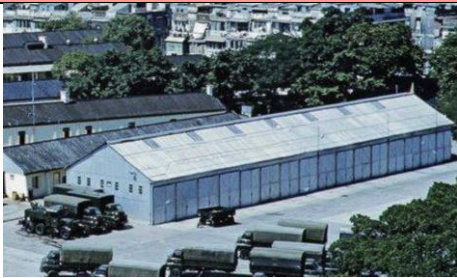
1923-1948

Between 1923 to 1948, there were changes in use in the built structures. The one-storey blocks that had been built for native soldiers' quarter in the last decade were converted to marriage soldiers' quarters. At the same time, new complexes were constructed for the use of locally engaged personnel quarters, office, storage or cook rooms.

Other than permanent structures, the site began to use more prefabricated buildings during this period. A type of temporary military structure established at this time was the Marston shed. This type of prefabricated buildings arose in Britain during the twentieth century to provide portable shelter for troops.⁸¹

⁸⁰ Ho, W.-Y. (2013). Islam and China's Hong Kong: Ethnic Identity, Muslim Networks and the New Silk Road. Routledge. <https://doi.org/10.4324/9780203515778>

⁸¹ K.L. Draper. (2014) Building for War: Examples of Temporary Structures Designed for Wartime Use in Britain (1939-


Building	Built Year	Photo
One-storey quarters, office, storage or cook rooms for locally engaged personnel (Named Block S88, S93 – S97, S100, S102, S103, S107 – S112, S115, S116, N1 - N33, N36, N37, N43 – N48, N53 – N57, N60 in 1961) (Permanent building: S88, S93 – S97, S102, S103, S107 – S112, S115, S116, N1 - N33, N36, N37, N43, N46 – N48, N54 – N57; Nissen hut: Block S100, N44, N45, N53, N60 Marston shed: Block N46)	1923-1948	 Photo taken in 1960 (Source: Medium)

1949-1961

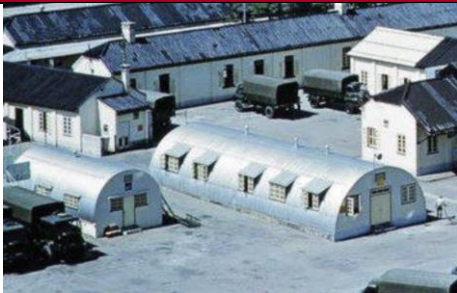
Between 1949 to 1961, there were an increase of building and changes of use in the site. During this period, the Armoury were changed into a Signal Centre that served a communication purpose (Figure 2-19). This signifies that the Site no longer served a heavy military purpose. The built barrack blocks continued to serve its purpose as living accommodations, of which some of them were categorized as Gurkha marriage staff quarters. There was an increase in amenities in the Site.

There was an increase of the number of buildings in this period, but almost all the buildings established in this stage were in prefabricated steel structures, including the Nissen huts and Romney huts. These huts were scattered along the Site, and the use ranged from school, office, storage, kitchens to workshops.

Nissen hut is one of the most famous temporary structures for being the first successfully mass-produced prefabricated wartime building. It is a semi-circular structure made of steel and timber. The Romney hut has a similar look with the Nissen hut, as they both have a semi-circular form. Other than that, the Romney hut has an unlined, tubular steel frame. It is observed that Nissen hut also appeared in earlier eras.

Building	Built Year	Photo
Block S33, 34, 68 as named in 1961 (Romney huts)	1950s	 Photo taken in 1952 (Source: Gwulo)

1945), 5th International Congress on Construction History

Building	Built Year	Photo
Block S6, S19, S22, S24, S28, S30, S31, S35 – S37, S39, S47, S54, S72, S89, S90, S100, S101, S113, S114, S118, N44, N45, N50, N60 as named in 1961 (Nissen Huts)	1961	 <p>Photo taken in 1960 (Source: Medium)</p>

1967-2022

From 1969 to 2022, the Site was designated as the site for Kowloon Park. Except 4 two-storeys permanent barrack blocks built in the period 1891-1912, namely Block S4, S58, S61 and S62, all buildings were demolished to create space for converting the site into a recreational area. The 4 barrack blocks were renovated to adapt to its new uses. Currently, Block S58 is currently used as a collection store of the Hong Kong Museum of history, Block S4 as the Health Education Exhibition and Resource Centre, Block S61 and S62 as the Heritage Discovery Centre.

The Kowloon West II Battery also stayed along (with alteration/ removal of buildings though) and was converted to a children's adventure playground along with the Kowloon Park redevelopment scheme.

Though the site for Kowloon Mosque remains, the current Kowloon Mosque is a new building constructed in 1984 in its original site.

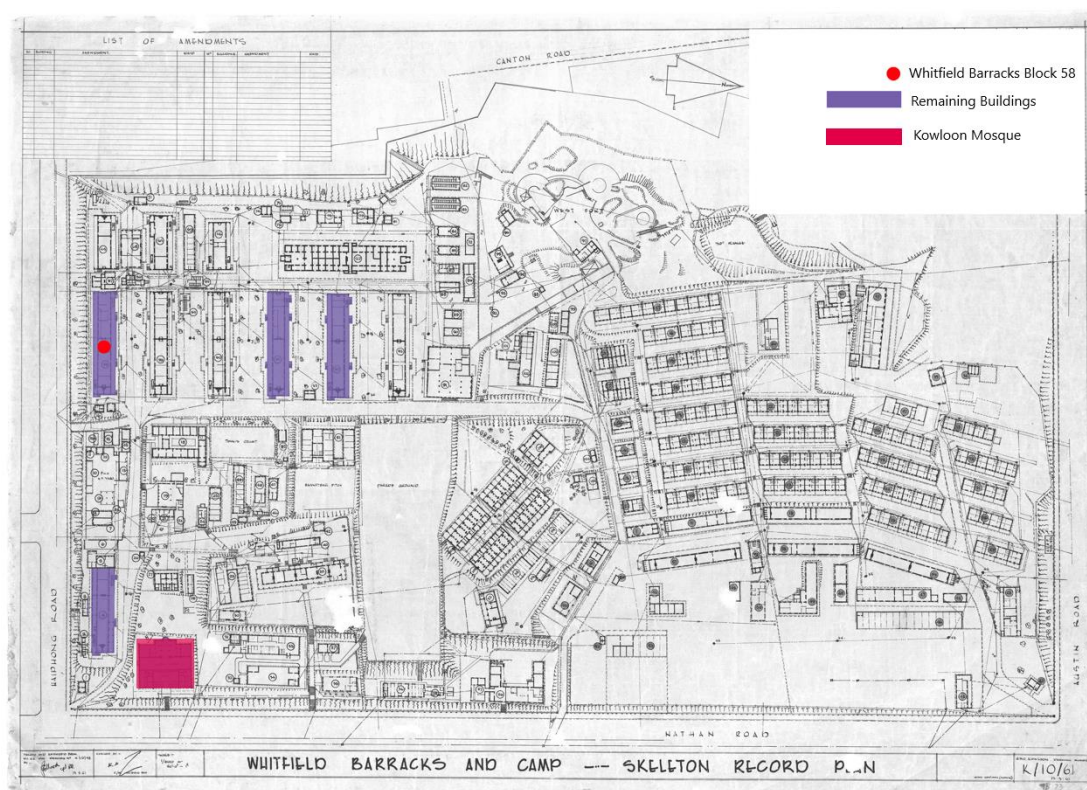


Figure 3-10 The remaining buildings nowadays, based on the layout shown in Whitfield Barracks and Camp, Skeleton Record, 18 May 1961, Drawing No. K/10/61. (Source: Public Records Office, File No. HKRS913-1-122 with the Author's edition)

The Architectural Trend

The barrack buildings that had existed in Whitfield Barracks did not only reflect the history of Whitfield Barracks but also showcased the British military structures development of the time. Unfortunately, most of them were demolished for Kowloon Park development. On the other hand, it is lucky to have 4 barrack buildings and a battery site that were built in late 19th century and early 20th century preserved to keep traces of the barrack site history.

3.1.3 Development of Site Features in Whitfield Barracks and Kowloon Park

Site features such as retaining walls, staircases/ steps, tunnel portals of underground air-raid tunnels can be identified in Kowloon Park nowadays. Some of them were established during Whitfield Barracks era and thus carry heritage value as they demarcate the accumulative development of the Site.

In this section, the south and west boundary walls of the Site, which are the historic site features of Whitfield Barracks/ Kowloon Park that lay within the Study Area, would be focused and discussed.

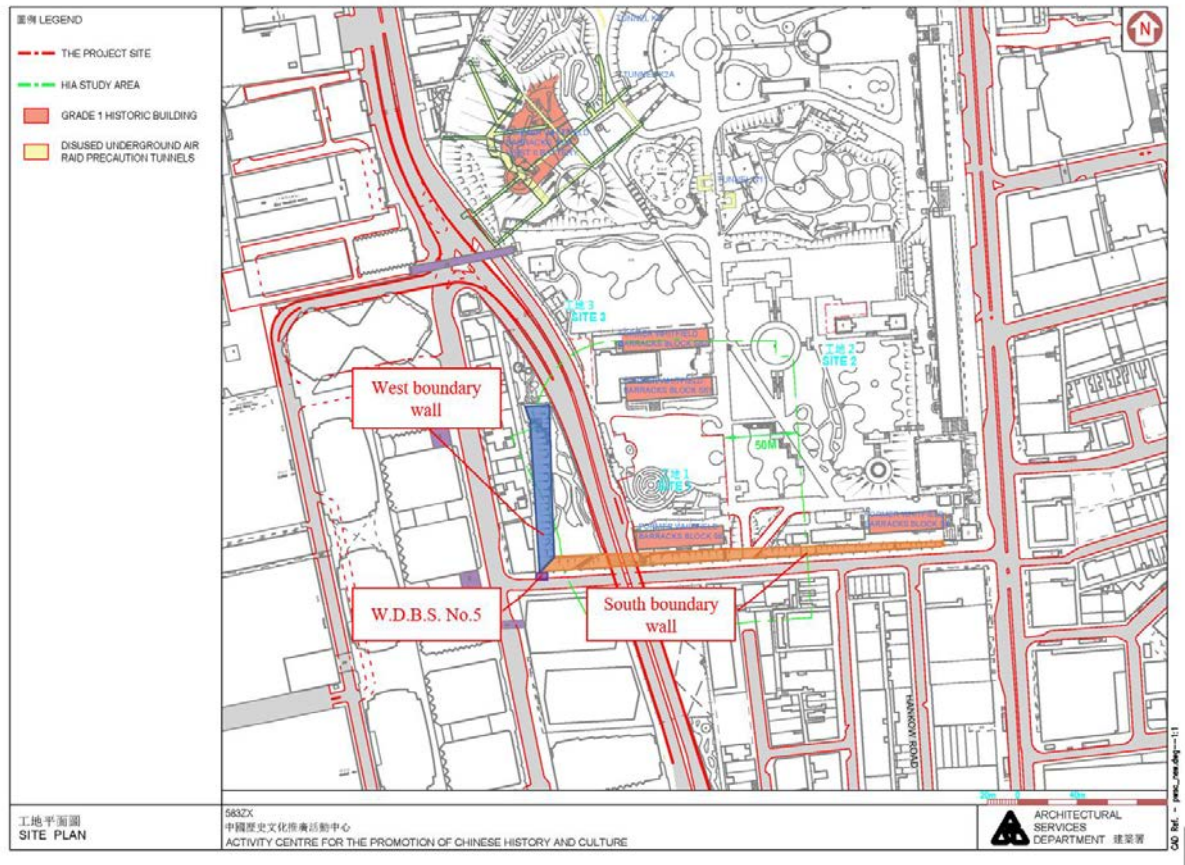


Figure 3-11 Historic site features identified within the Study Area. (Source: ArchSD with the Author's edition) (TBC waiting for ArchSD confirmation of study boundary)



Figure 3-12 A current view of the granite retaining wall of the south boundary of the Site (Source: Google map, accessed 6 Jan 2023)



Figure 3-13 A current view of the retaining wall of the west boundary of the Site

During 1864 – 1967, Whitfield Barracks Era

Though a record plan/ photo in the 19th century to clearly indicate the existence of granite retaining walls along the Site's south and west boundaries, it is believed that they existed as early as 1864 when the Site was assigned to the War Department for barrack establishment.

According to the Plan of W.D. Lot No. 12 "War Department Land Central Block Kowloon" (Figure 2-5), originally there should have been three boundary stones located along the south and west boundaries, namely "W.D.B.S. No. 4" at the junction of the south and the east boundary walls, "W.D.B.S. No. 5" at the junction of the south and the west boundary walls, and "W.D.B.S. No. 6" in the middle of the west boundary). The only boundary stone currently remaining on site is No. 5. (Figure 3-14)

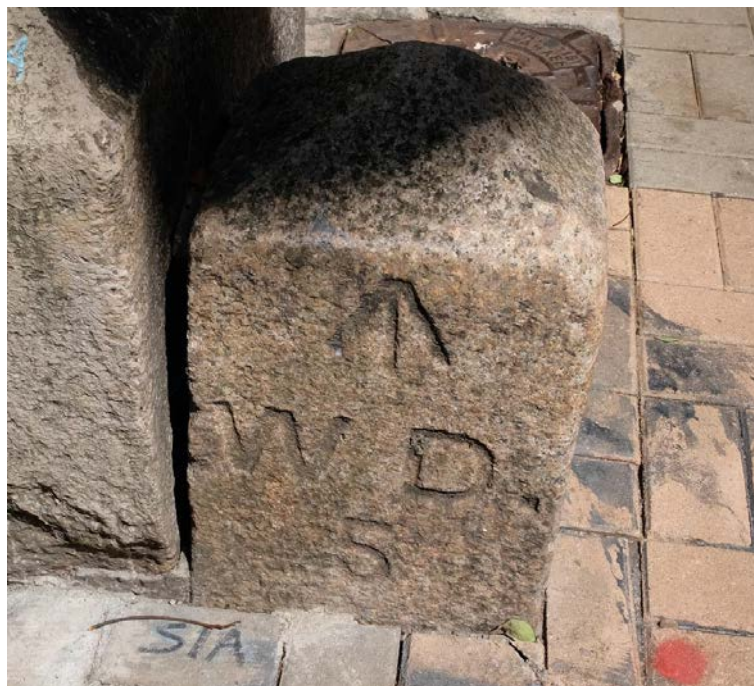


Figure 3-14 "↑ WD. 5" as in the War Department Boundary Stone No.5, is the only remaining boundary stone within the Site

In the Whitfield Barracks Skeleton Record Plans in 1906, 1913 and 1922 and a Survey Map of Hong Kong in 1922 (Figure 2-10 & Figure 3-15), there were three entrances located along the South Boundary Wall, with one at the west end, one at the middle section and one at the east end. (Figure 3-15). The general layout of the south and west boundaries had not been changed much during these when the Site was still being used as a military site.

Minor changes were noted though. As depicted in the 1961 Skeleton Record Plan (Figure 2-19, extracted and enlarged as Figure 3-16), a new external staircase was added to the south boundary wall to allow quick access to Block S4 (exact construction date unknown).



Figure 3-15 An extract of Topographic Map CL-NW-12, Crown Lands and Survey Office, 1922. Note that there were three entrances along the south boundary of the Site. (Source: Survey and Mapping Office)

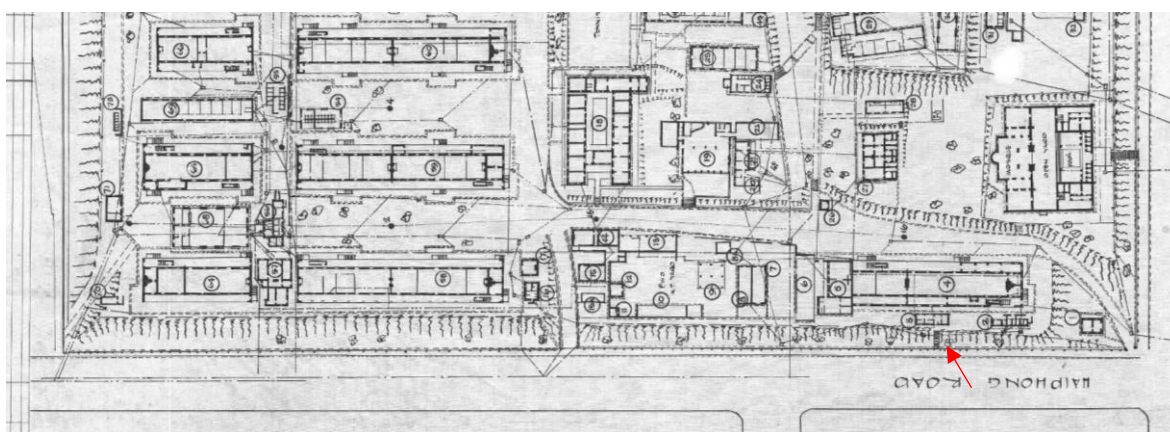


Figure 3-16 An extract of Whitfield Barracks and Camp, Skeleton Record Plan K/10/61, 1961. Note the new external staircase from Haiphong Road to Block S4 (arrowed). (Source: Public Records Office, File No. HKRS913-1-122, 1922)

During 1969 – Present, Kowloon Park Era

However, since after the Whitfield Evacuation Projects in the 1960s and then Kowloon Park development in 1969-1989, the south boundary layout has changed drastically, as the main entrance at the southeast corner was the only one left in 1968 while the other entrances disappeared (thus presumably were blocked). The staircase leading to Block S4 also disappeared, which perhaps was blocked as reflected the current status on site (Figure 3-17). A new external staircase could be noted at the middle section of the south boundary wall. (Figure 3-18)

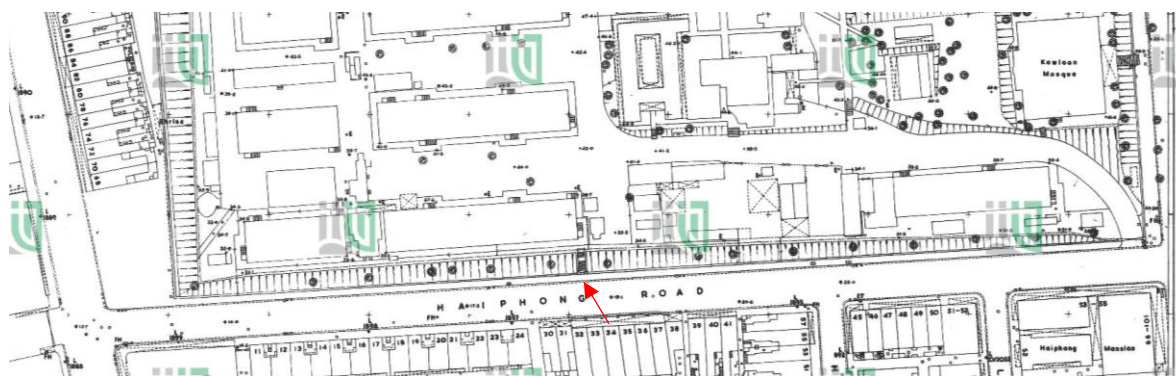


Figure 3-17 An extract of Topographic Map C-196-NE-5, Crown Lands and Survey Office, 1968. Note that 2 of the main entrances mentioned above and the staircase leading to Block S4 disappeared, and a new external staircase (arrowed) was added. (Source: Survey and Mapping Office)



Figure 3-18 Current view of the external staircase leading to Block S4 (now blocked)

In 1974, Kowloon Park Drive and the associated new footbridge were under construction, so part of the west boundary slope/ retaining wall along the west boundary and the west end of the south boundary wall were demolished. By 1975, a new retaining structure was constructed at the new west boundary, and a new opening was made at the south boundary wall to make way for the construction of Kowloon Park Drive and the new footbridge. A new Electric Sub Station was along constructed on Haiphong Road by interrupting the south boundary wall (Figure 3-19, Figure 3-20 & Figure 3-21)

The main entrance located at the middle of the south boundary wall was reopened in 1976 (Figure 3-22).

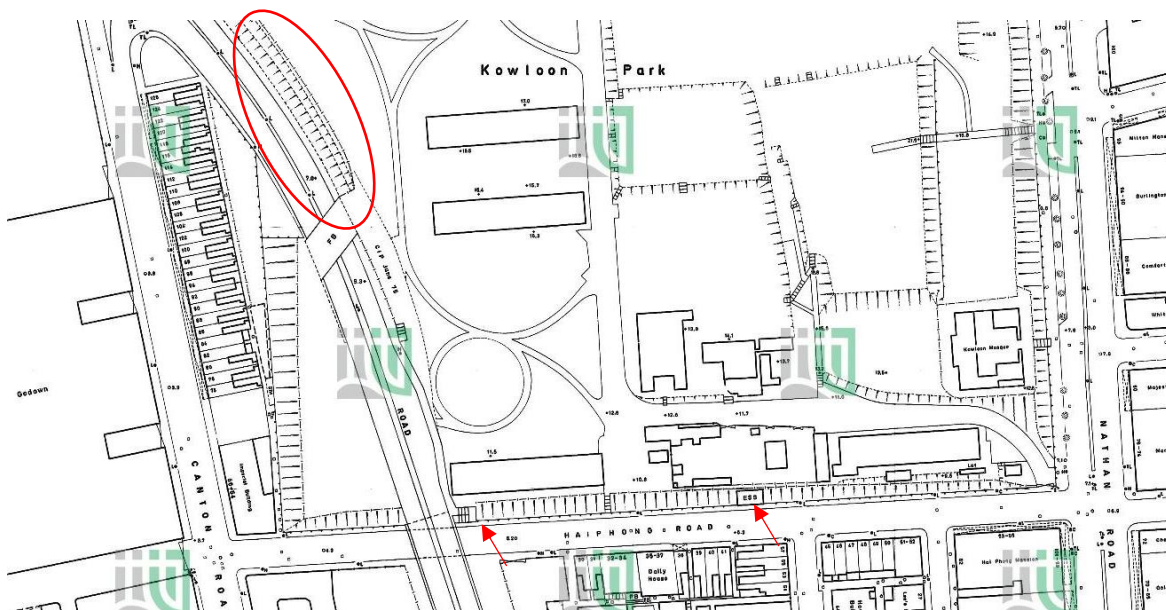


Figure 3-19 Topographic Map 11-SW-4B, Crown Lands and Survey Office, August 1975. The new retaining structure along the new west boundary (circled), the Electric Sub Station (arrowed) and Kowloon Park Drive were constructed. A new external staircase (arrowed) was built to connect Kowloon Park Drive and Haiphong Road for pedestrian access. (Source: Survey and Mapping Office)



Figure 3-20 Current view of the external staircase to the footbridge



Figure 3-21 Current view of the existing Electric Sub Station

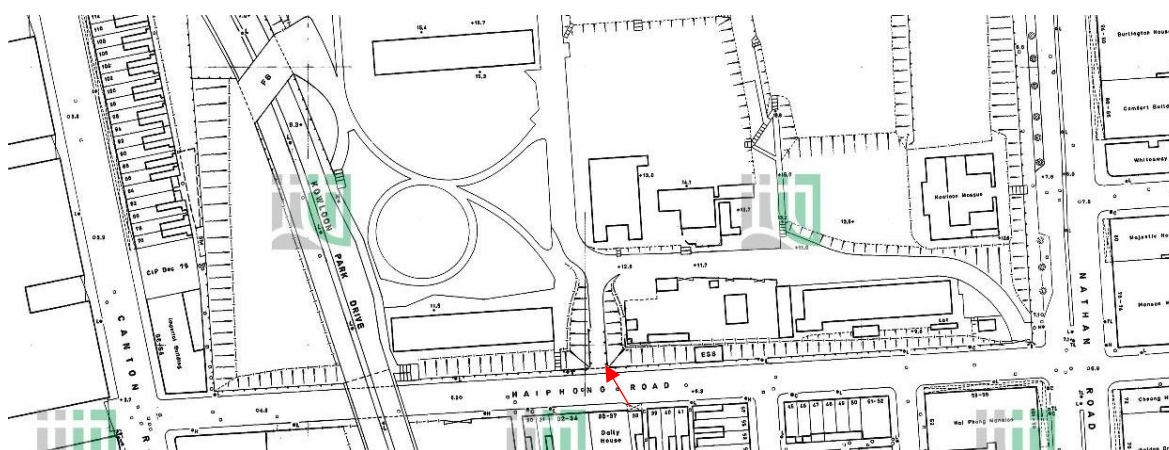


Figure 3-22 An extract of Topographic Map 11-SW-4B, Crown Lands and Survey Office, May 1976. The main entrance at the middle of south boundary wall was reopened. (Source: Survey and Mapping Office)

The renovation works for the existing staircase in front of Block 58 was proposed in May 1977 by the Architectural Office of the Public Works Department, which included works to demolish the existing steps, extend the staircase to add a new landing in between and install new reinforced concrete steps, metal fence and gates (Figure 3-23).

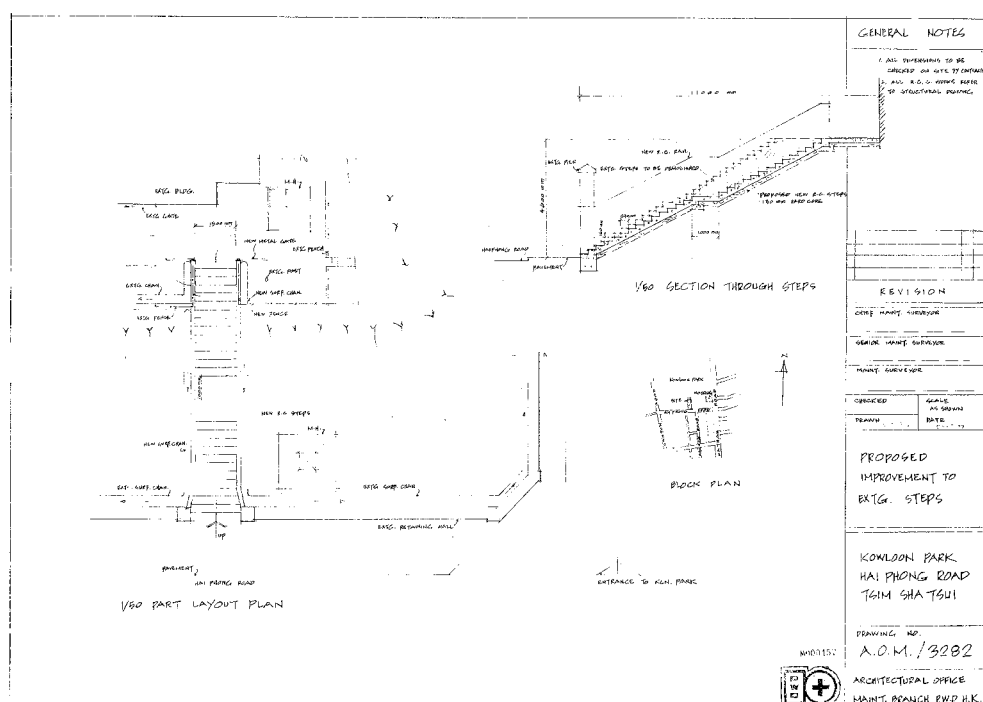


Figure 3-23 Proposed Improvement to Existing Steps, Kowloon Park Hai Phong Road Tsim Sha Tsui, Architectural Office, dated 20 May 1977. (Source: Architectural Services Department, Microfilm File No. M000457)

A new side path was added next to the aforementioned main entrance at the south boundary wall after the demolitions of Block S8A, S10, S11, S12, S13 around 1979, which provided easier access to Kowloon Park Stage 2 development. The entrance at the southeast corner was completely changed to suit the new MTR station entrance (Figure 3-24).

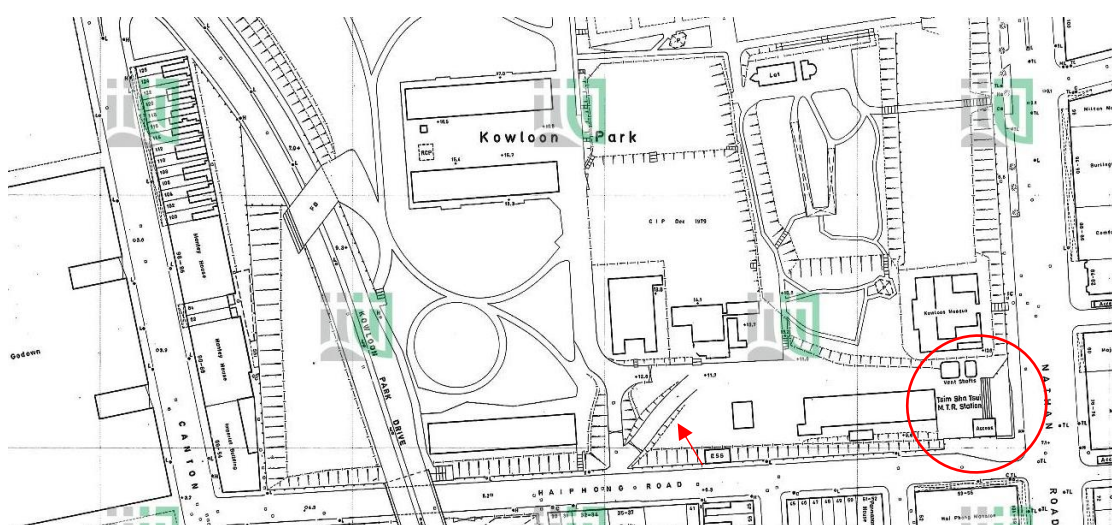


Figure 3-24 An extract of Topographic Map 11-SW-4B, Crown Lands and Survey Office, July 1979. Note a new side path at the middle entrance on the south boundary and the new layout at the southeast entrance. (Source: Survey and Mapping Office)

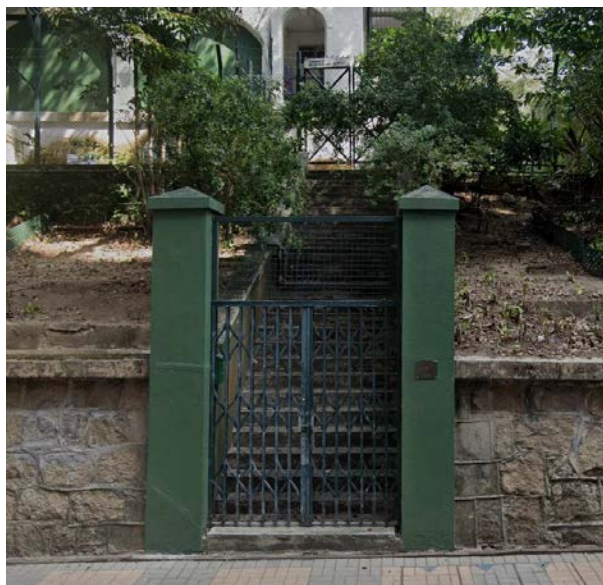


Figure 3-25 Current view of the staircase leading to Block 58



Figure 3-26 Current view of the main entrance and side path at the middle entrance on the south boundary (Source: Google Map)

In 1986, a new garden and a back alley along the 1976 west boundary was built (Figure 3-27). The staircase leading to Block S4 appeared again in the same topographic map, but it is estimated as a drawing correction of the previous versions of survey maps.

Two external staircases leading into the site were also been constructed in around 1993, one located at the original west boundary next to the garden, and the other one located at the west end of the south boundary wall (Figure 3-30), which should be the last alterations to the south and west boundary wall of the Site.



Figure 3-27 An extract of Topographic Map 11-SW-4B, Crown Lands and Survey Office, January 1986. A new garden and a back alley along the original west boundary, and the staircase leading to Block S4 reappeared. (Source: Survey and Mapping Office)

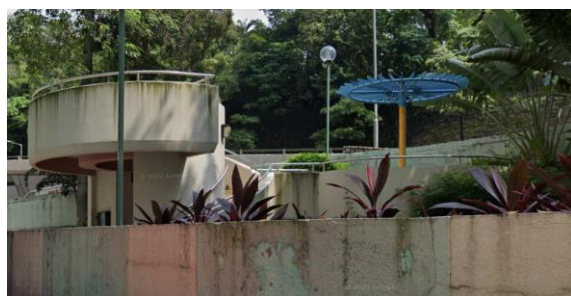


Figure 3-28 Current view of the garden along the original west boundary

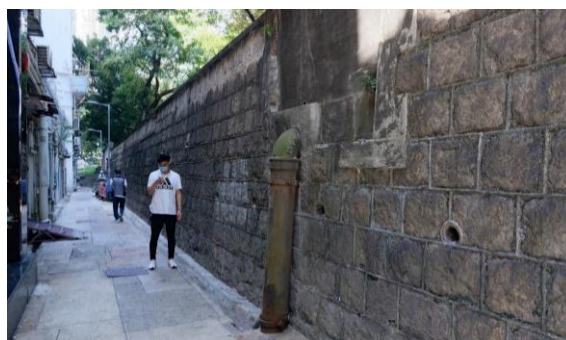


Figure 3-29 Current view of the back alley along original west boundary

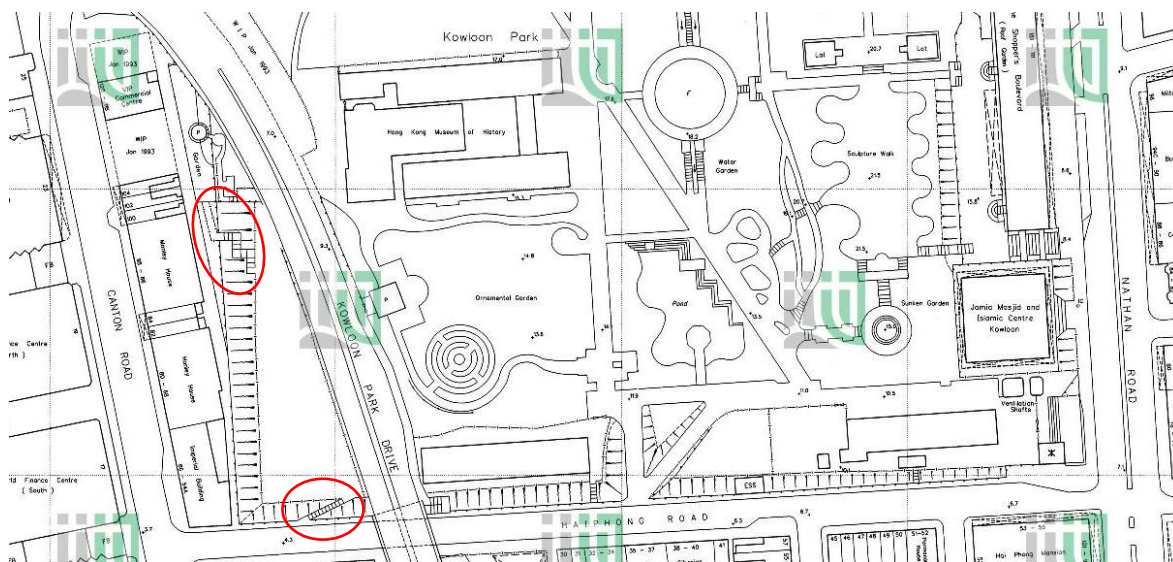


Figure 3-30 An extract of Topographic Map 11-SW-4B, Crown Lands and Survey Office, January 1993. Two new staircases located at the original west and south boundaries were built. (Source: Survey and Mapping Office)



Figure 3-31 Current view of the external staircase at the original west boundary



Figure 3-32 Current view of the external staircase at the original south boundary

3.2 Block 58

3.2.1 Architectural Style

Block 58, formerly Block A or Block 58 of Whitfield Barracks, is a typical Colonial Neo-Classical army barrack building. Whitfield Barracks was designed along the lines of the standard British military barracks of the 20th century and thus followed the British architectural styles, but local techniques and materials were adapted to accommodate the hot and humid local climate (verandah and double-pan-double-roll roof).

3.2.2 Elements in the Building Vicinity

All four sides of the current Block 58 is fenced off, from Kowloon Park Drive to its west, from Haiphong Road slope and retaining wall to its south and from other areas of Kowloon Park to its east and north. It is believed that the fencing has been erected since Block 58 started to be used for museum storage/ supporting facilities in 1983 when it became inaccessible by the general public. Elements within the fenced off area in the building vicinity are further discussed below.

The Conservation Tanks

There are two conservation tanks outside the building's south façade and another two outside the east façade. The former two concrete tanks were probably introduced during the 1983 renovation (when Block S58 was renovated to support Blocks S61 and S62 being used as the temporary Museum of History), but the larger one was further replaced during the 1986-89 renovation. The latter two are suspected to be later additions, but the exact date of addition is unknown.



Figure 3-33 The conservation tanks, outside the east façade of Block 58

Retaining Boundary Wall and Staircase on Haiphong Road

Refer to section 3.1.3 for details.

3.2.3 Building Exterior

Building Form

Block 58 has a very simple building form – a 2-storey regular block with Chinese-styled double-pan-double-roll tiled pitched roof in the middle section housing the major spaces, and slightly lower flat roofs at the front and rear sections housing the verandahs. This simple form reflects the functional design of a military building.

North (front) Façade



Figure 3-34 The current north façade.

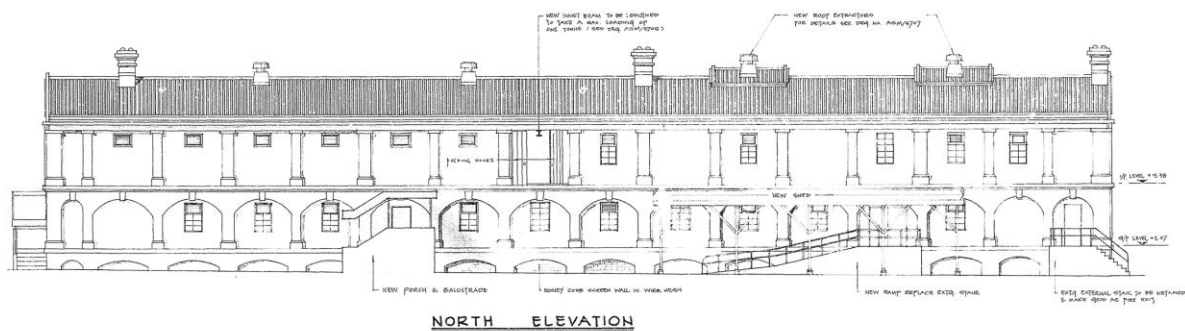


Figure 3-35 Proposed renovation on north façade, extracted from Architectural Proposed Plan for Kowloon Park, Drawing No. ASM/ 5704, dated 1986. (Source: Architectural Services Department)

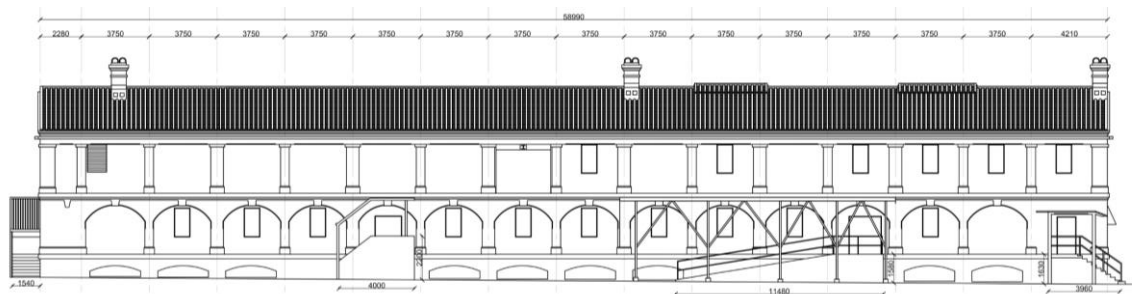


Figure 3-36 North façade, nowadays. (Source: Architectural Services Department)



Figure 3-37 The photo shows the north and west façades of Block 58 in 1970. (Source: Hong Kong Public Library MMIS)

The north façade faces Kowloon Park. However, with the chain-link fence installed in front of the north façade to prevent trespass into the building and heavy greenery immediate next to the fence, the north façade can only be seen from an angle that a view over the entire façade is currently not possible.

It composes of three horizontal sections, which in fact authentically reflect the three floors of the building. Each horizontal section consists of 16 bays, with 14 bays in the middle equally spaced while the end bays on the two sides narrower than those in the middle.

The base horizontal section is formed by the lower ground floor. Among the 16 bays, this section carries 10 plain segmental arch openings. The other 6 bays are having stair flights in front so openings were not feasible. The 10 arches should have been bricked up in honey-comb pattern to allow ventilation originally (Figure 3-37) but have been either blocked since 1986-89 renovation or installed with louvres after then. The arch openings are only of a few hundred millimetres high that even if they were opened, access into the LG/F through this façade would not be feasible. Except the arch opening, no other decoration can be observed.

The middle horizontal section is formed by a verandah on the ground floor. The verandah again carries segmental arch openings, but with decoration including chamfer-edge detail and keystones. In between the arches are columns with bases, which in turn sit on a protruded plain stringcourse on G/F slab level. Above the keystones are stepped cornice and another band of plain stringcourse on 1/F slab level. There should be originally 16 arch openings. Except those bays receiving the stair flights, these openings should have only carried cast/ wrought iron railings and posts. An old photo of [Block 58](#) in 1970 (Figure 3-37) and another one of [Block S4 in the 1980s](#) (Figure 3-39) show cast/ wrought iron railings and posts on verandahs. However, the middle 14 have been blocked since the 1986-89 renovation with infilled walls recessed slightly from the original wall surface and painted in green that one can still realize these are later additions. The two end bays have also been blocked since the same period with infilled walls, but flushed with and painted in the same colour as the original fabrics (white), so the later additions can only be recognized by the shrinkage cracks between the old and new fabrics or by reading historic drawings. Windows, doors and air-conditioners are installed on the later infilled walls.

The top horizontal section is formed by a verandah on the first floor, but it distinguishes itself from G/F by having rectangular openings. In between the openings, there are rendered and white colour painted columns with plain capitals and bases. The columns are supporting a plain frieze (with subtle partial chamfer edge detail) and then a protruding roof eave extending from the roof slab. It is observed from historic drawings that it was a plain roof eave protrusion but such detail cannot be observed as later installed metal gutters block the eyesight. Again, all the 16 verandah openings have been blocked since the 1986-89 renovation by infilled green walls with a recess from the façade surface, with windows and air-conditioners installed on the new walls. One of the openings is installed with a metal folding shutter and a steel overhang hoist beam from the façade, which are also 1986-89 additions to facilitate moving large and heavy storage items in and out from 1/F of the building.



Figure 3-38 The later added hoist beam on the north façade.

The brick walls on G/F and LG/F are currently rendered and painted in white, though the rendering is relatively thin and brick lines could still be observed.



Figure 3-39 South façade of Block S4 in the 1980s. (Source: Public Records Office, File No. HKRS1105-1-9)

There used to be three external staircases (two in the middle and one at the west end) on the north façade, once increased to four as shown in the 1961 Skeleton Record Plan (Figure 3-74) but now only two exist. The remaining one the middle has granite staircase flights partly inlaid with wash grano nosing. New metal porch and concrete parapet with a metal railing on top were added during the 1986-89 renovation.

Strangely, the other remaining external staircase at the northwest corner, though carries the same type of granite flights as the middle one, is found to be a flight direction opposite to one recorded in the Whitfield Barracks Skeleton Record Plans in 1906 to 1926 (Figure 3-70 to Figure 3-73). The 1961 Skeleton Record Plans (Figure 3-74) recorded the direction of flight correctly, showing that the staircase could have been altered and reconstructed in a reverse direction between 1926 to 1961. The cast iron railing and posts on this staircase are part of the aged fabric (if not original), except the lowest post which is inspected as a later addition. Attached to the staircase, there are the concrete flat roof and supporting beam and columns that look aged and have existed before 1970 (see the 1970 photo, Figure 3-37).



Figure 3-40 The remaining original staircase in the middle of the north façade.



Figure 3-41 The remaining original staircase in the northwest Corner

As the 1986-89 renovation aimed to equip the building with more storage spaces and supporting facilities for the Hong Kong Museum of History, one of the original middle staircases on the north elevation was replaced by a new concrete ramp with metal railings, a new steel shed above the new ramp and tracks for pulley systems with metal structure. Next to the ramp, a metal deck and supporting structure for air conditioning unit was added after 1986-89. These new additions with a purpose to facilitate the services of the building are intrusive elements to the building's exterior.



Figure 3-42 The new ramp on the north façade with the steel shed and pulley system above.



Figure 3-43 The metal structure supporting air-conditioning outdoor units.

South (Rear) Façade



Figure 3-44 The current south façade near its east end.



Figure 3-45 The current south façade at the middle portion.

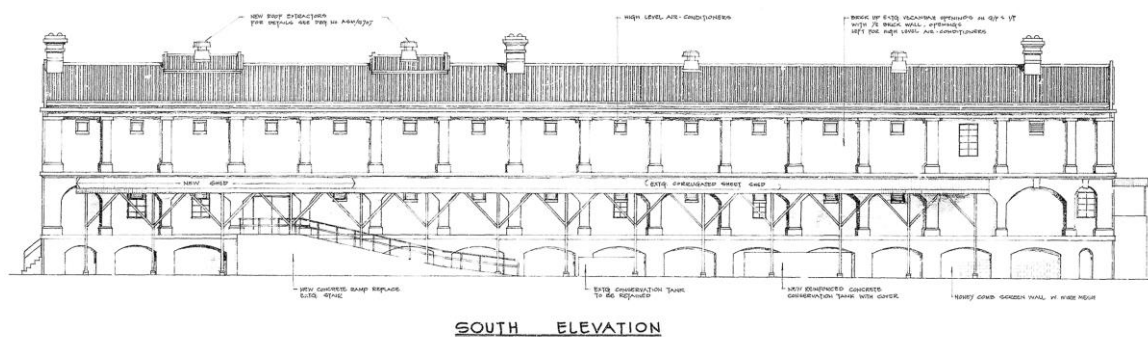


Figure 3-46 Proposed renovation on south façade, extracted from Architectural Proposed Plan for Kowloon Park, Drawing No. ASM/ 5704, dated 1986. (Source: Architectural Services Department)



Figure 3-48 The current ramp on the south façade.

East (Side) Façade



Figure 3-49 The current east façade.

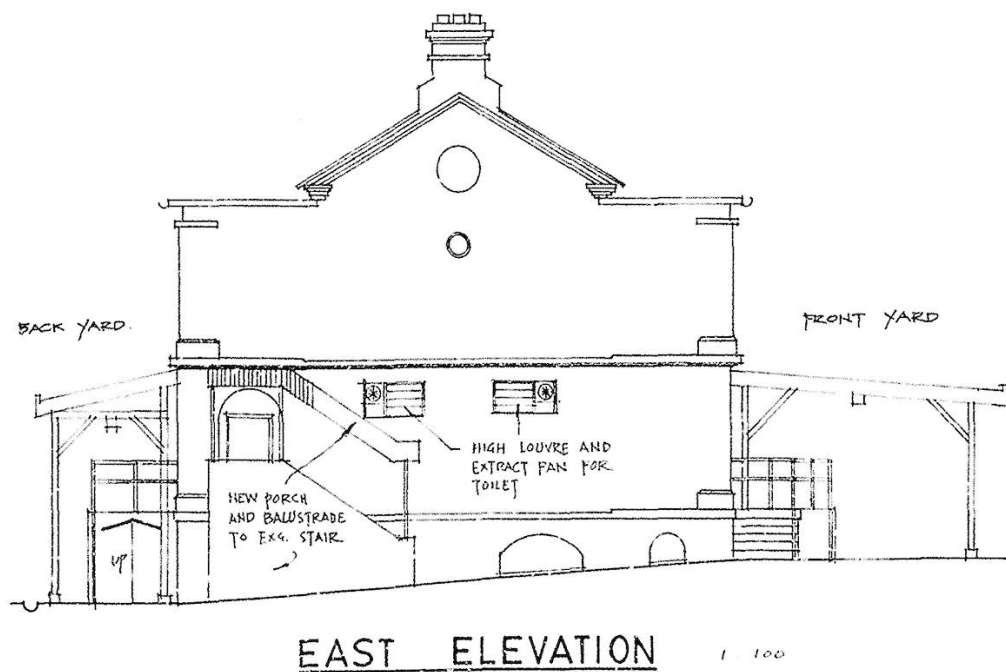


Figure 3-50 Proposed renovation on east façade, extracted from Architectural Proposed Plan for Kowloon Park, Drawing No. ASM/ 5704, dated 1986. (Source: Architectural Services Department)

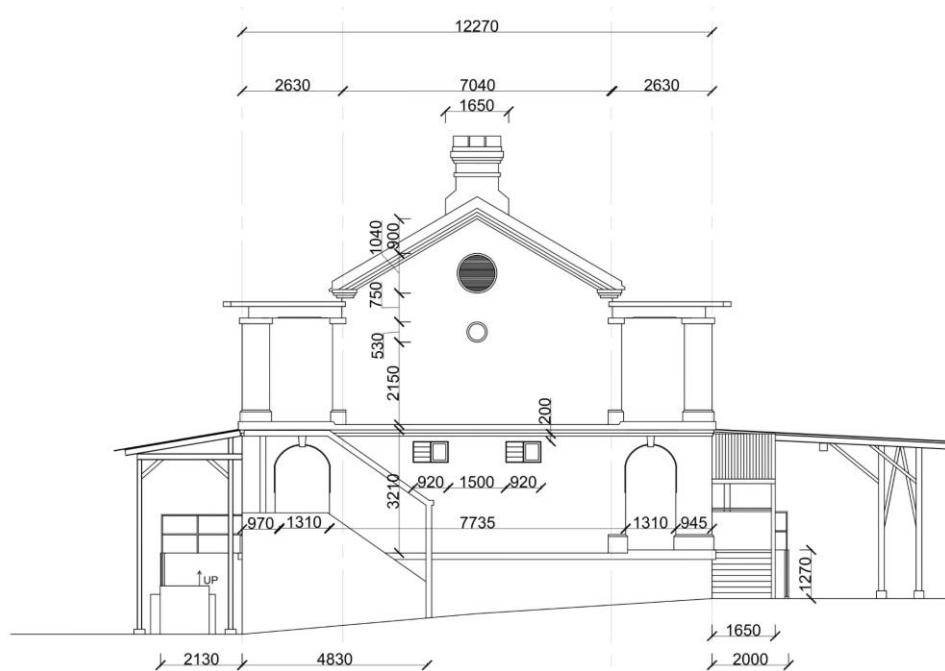


Figure 3-51 East façade, nowadays. (Source: Architectural Services Department)

The east façade is facing Kowloon Park. Standing slightly angled along the fence outside this façade, the viewer can get a full view of the east elevation.

The east façade can also be divided into three horizontal sections to distinguish the three-storeys of the building. The base (i.e the lower ground level) has four arch openings, of which two are blocked by an external staircase, and the other two should be originally filled with honey-comb patterned brickworks but are now filled up.



Figure 3-52 The base and middle sections of the east elevation and its attaching external staircase. Note that the original patterned brickworks of the arches at the base (arrowed) can still be traced even the arches are filled up currently.

The two sides of the middle horizontal section are constructed as the return walls of verandahs on the north and south façade, thus carry similar decorative features of the north and south elevation. The arch opening on the north is currently filled by a recessed infilled wall painted in white. The arch opening on the south is an entrance to the G/F. There are two rectangular openings for high louvres at the centre, which are 1986-89 additions. There is a rainwater downpipe crossing the centre of the middle and base sections, appearing to be a later new addition.

Reflecting the 1/F, the two sides of the top section are the returning walls of the north and south façades, and carry similar features of the two facades. Both rectangular verandah openings are filled by infilled walls painted in green. The gable wall of the east façade is characterized by a moulded cornice. At the centre of the upper section, there is a bullseye window opening. Below it is a painted, protruded, **ringed letter "A,"** and further below is a **painted number "58"**. These are features that notes the historical numbering and naming of this barracks block, but as observed from a 1970 photo (Figure 3-37), the letter **"A"** should be more aged than the **"58"**.

The external staircase at the southeast corner is characterized with granite staircase flights that are partly inlaid with wash grano finish on surface. Similar to the middle staircase on the north elevation, a new porch and concrete parapets with top railings are later added elements (1986-89 renovation).

West (Side) Façade



Figure 3-53 The current west façade, viewing from Kowloon Park Drive. (Source: Google Map)



Figure 3-54 the current west façade, viewing within the fenced off area.

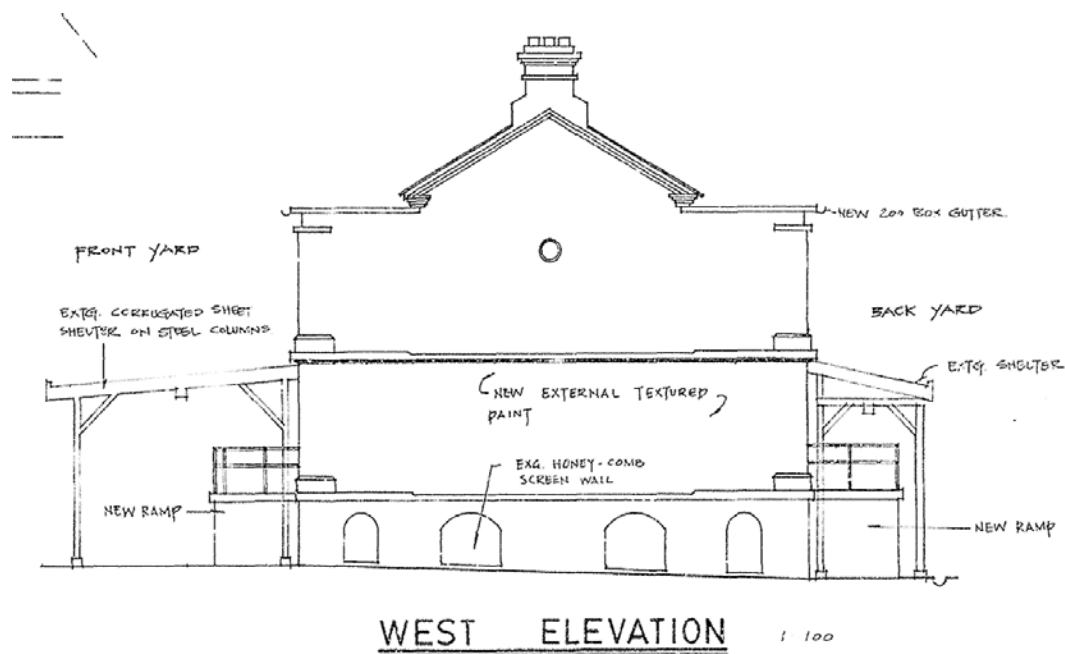


Figure 3-55 Proposed renovation on west façade, extracted from Architectural Proposed Plan for Kowloon Park, Drawing No. ASM/ 5704, dated 1986. (Source: Architectural Services Department)

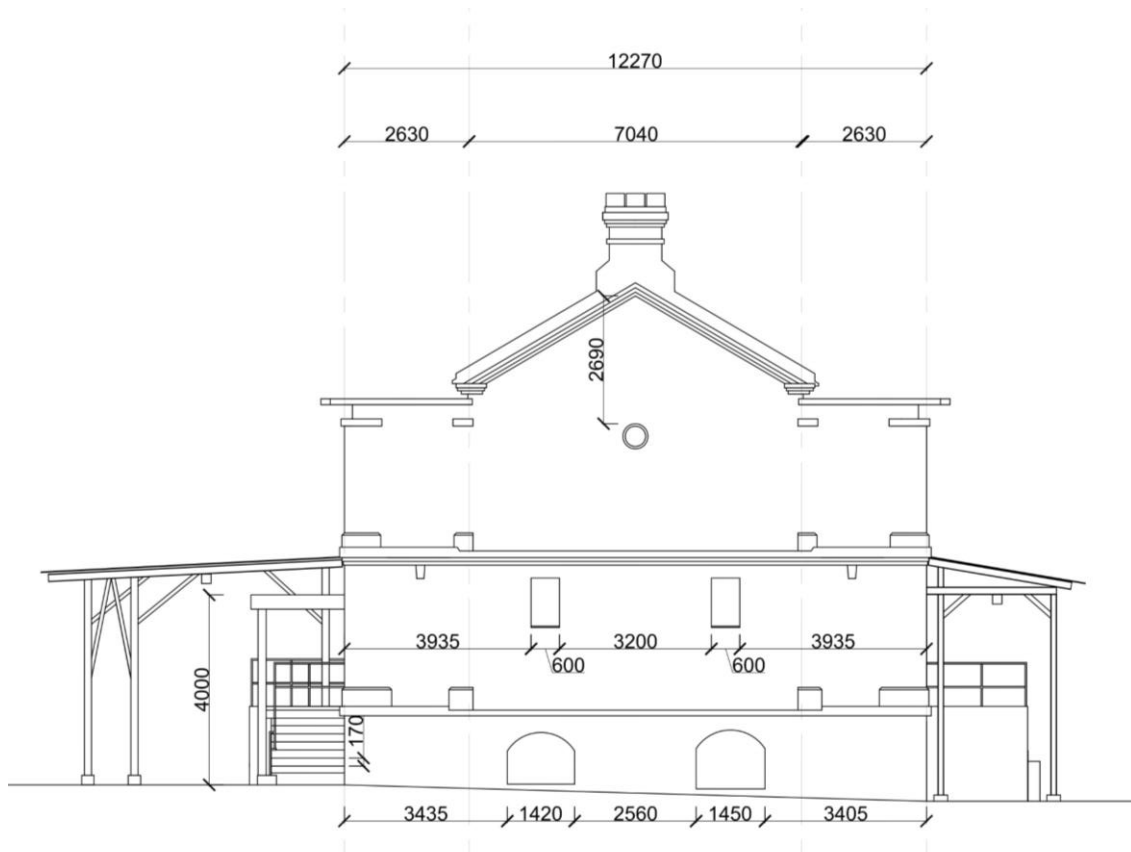


Figure 3-56 West façade, nowadays. (Source: Architectural Services Department)

The west elevation faces Kowloon Park Drive, and with limited space, the viewer can only get a view of this elevation from a side angle, though one can get a better view across Kowloon Park Drive.

The west façade looks similar to the east, but with slight differences. At the base section, the four arches are either blocked or installed with metal doors. At the middle section, the two arch openings on the return walls at two ends are blocked and painted in white. There are also two later vents at the centre. At the top section, the two rectangular openings on the return walls at two ends are blocked and painted in white. At the centre there is a gable wall with moulded cornice and a painted, protruded and ringed letter "A" (but no "58"). There are also other building services installations running down the entire façade from the north flat roof, which are considered intrusive to the building.

Roof

The roof is divided into 3 parts: the front and rear lower flat roofs for the verandahs and the middle gable pitched roof for the main space.

The front and rear flat roofs are of concrete construction and now equipped with box gutters installed alongside of them. The flat roofs should be a replacement to the original pitched roofs (between 1926 and 1950s), while the gutters are additions after 1970.

The middle gable pitch is a pitched monitor roof characterized by double pan double roll Chinese clay tiles. There are 3 chimneys, one near the east end serving for 6 fireplaces in the building in the past, one in the middle serving for 4 and one at the west end serving for 2. They are now no longer in use but still reflect the lifestyle in the old days.



Figure 3-57 The current pitched roof and chimney.

3.2.4 Building Interior

Layout

Similar to the roof, layouts of all floors of the building can be divided into three portions, namely the front (north) portion with a verandah and a staircase at its west end, the middle portion holding the main spaces, and the rear (south) portion with a verandah and a staircase at its east end. There have been alterations to the layout of the building depending on its use, but the division of the three portions has been constant.

Structure

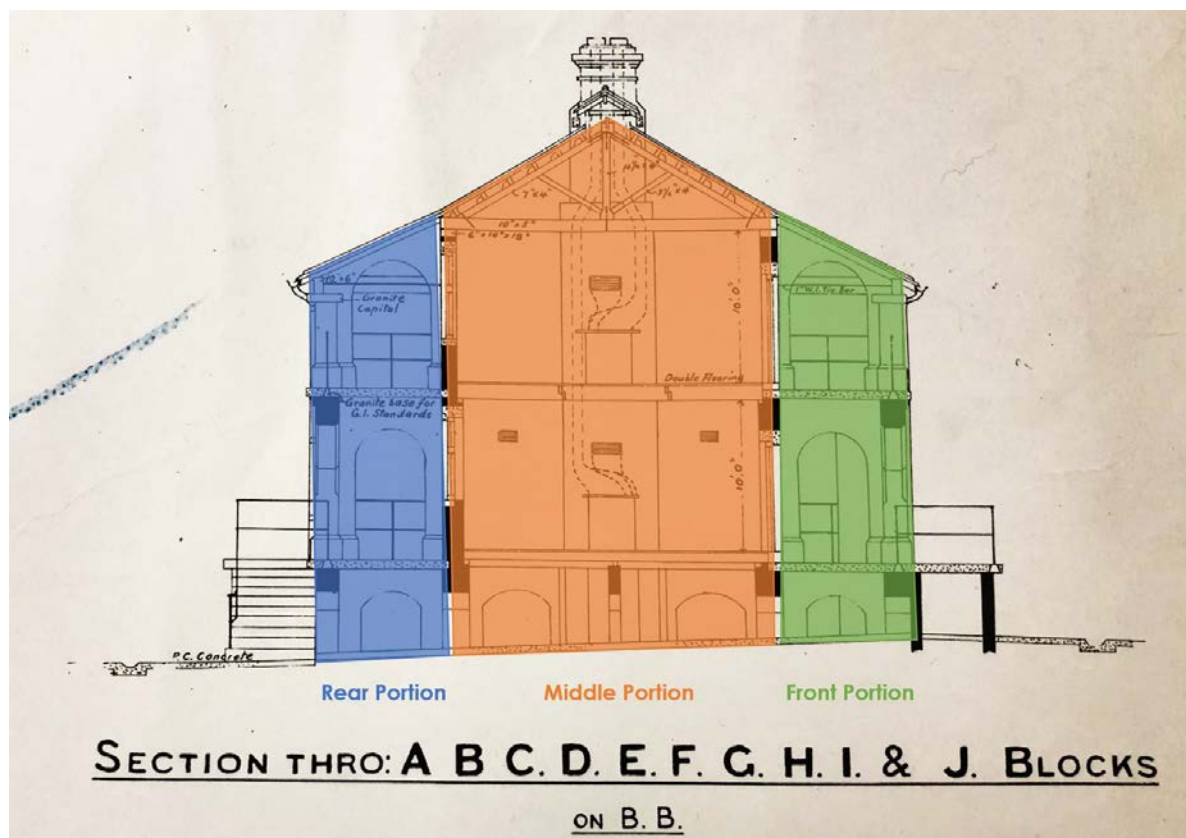


Figure 3-58 1906 Cross-Section, extracted from the 1906 Whitfield Barracks Skeleton Record Plan, sheet 3/3. Note that brick is in black; RC concrete is in dotted hatch; capital of 1/F verandah columns and verandahs balustrades' base are denoted as granite, floors of main spaces are denoted as double flooring. Between verandah internal wall and column on external side, a tie bar is indicated. There is no annotation for door thresholds, but as observed from the hatching, they may be of granite as well. (Source: TNA WO78#3744, with Author's edition).

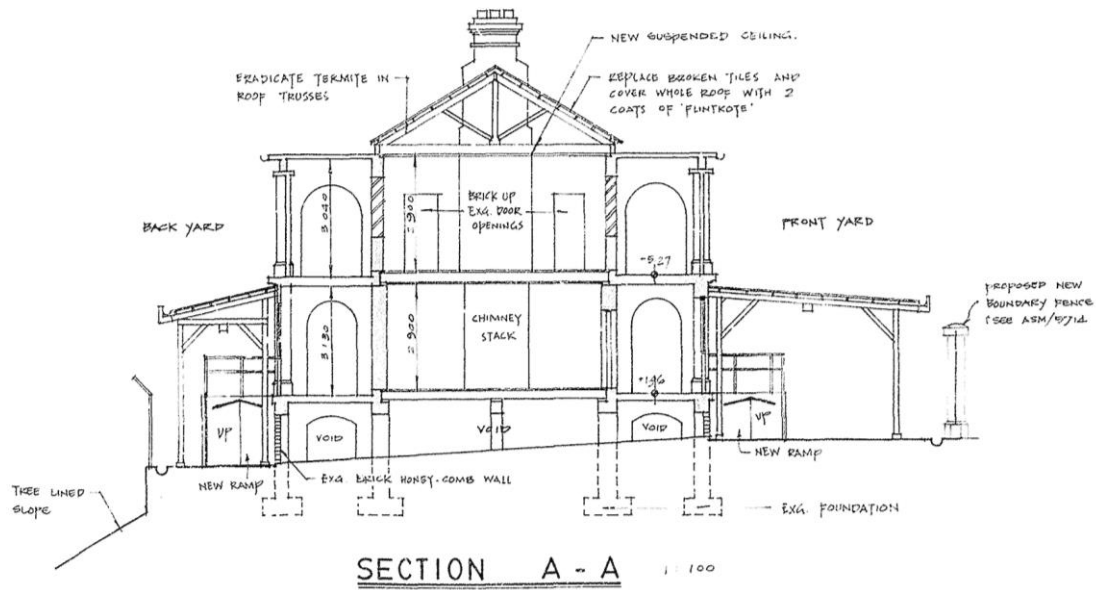


Figure 3-59 1986 Proposed Section, extracted from Architectural Proposed Plan for Kowloon park 1986, Drawing No. ASM/5701. (Source: Architectural Services Department)

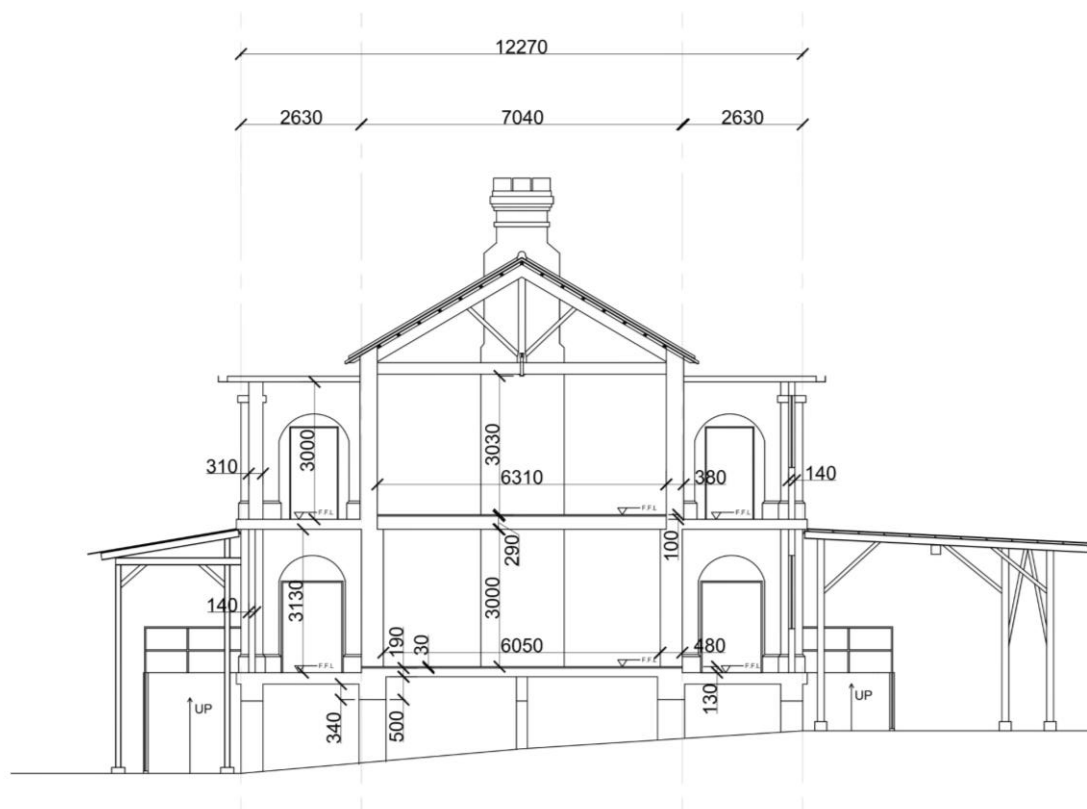


Figure 3-60 Cross section, nowadays. (Source: Architectural Services Department)

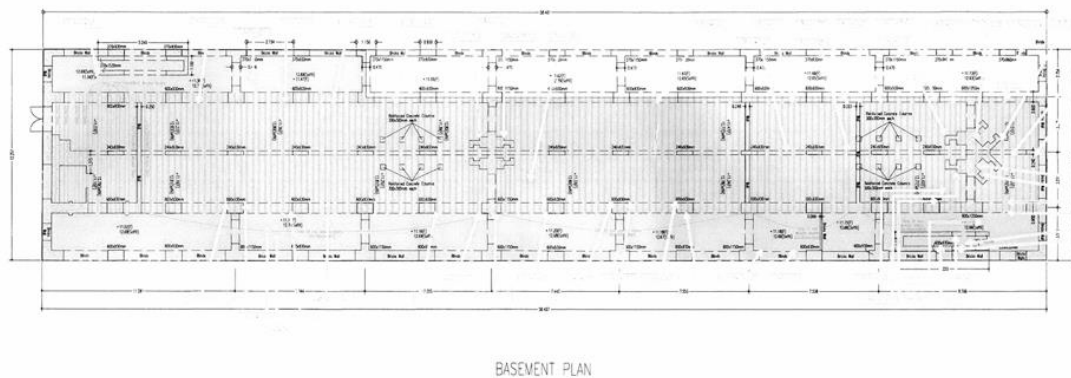


Figure 3-61 2013 Basement record framing plan. (Source: Architectural Services Department, Structural Appraisal Report 2013)

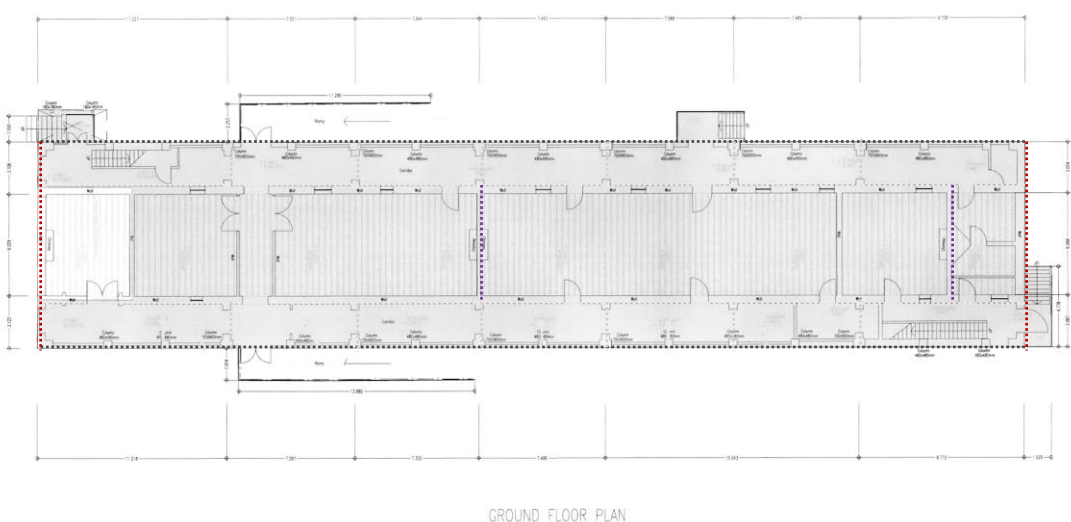


Figure 3-62 2013 G/F record framing plan, with brick structures highlighted in colour dotted lines: red = brick gable wall, purple = brick chimney stack and cross wall, light orange = brick cross wall, blue = external brick arches/ columns, light blue = internal brick wall. (Source: Architectural Services Department, Structural Appraisal Report 2013, with Author's edition)

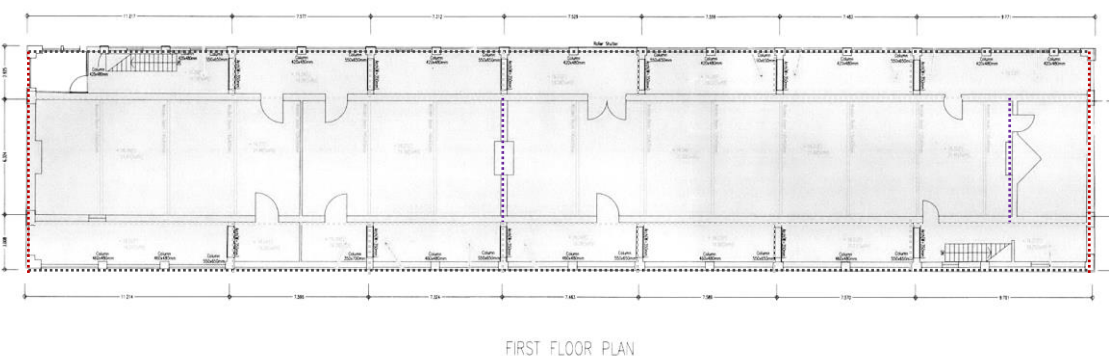


Figure 3-63 2013 1/F record framing plan, with brick structures highlighted in colour dotted lines: red = brick gable wall, purple = brick chimney stack and cross wall, light orange = brick cross wall, blue = external brick arches/ columns, light blue = internal brick wall. (Source: Architectural Services Department, Structural Appraisal Report 2013)



Figure 3-64 2013 G/F record framing plan, with different type of brick walls highlighted in colour dotted lines (Source: Architectural Services Department, *Structural Appraisal Report 2013*, with Author's edition)

The building structure is consisted of brick walls, arches and columns (see sectional elements coloured in black in Figure 3-58), timber joists and flooring in the middle portion (denoted as double flooring in Figure 3-58) and RC concrete slabs in the front and rear portion on G/F and 1/F (see dot-hatched sectional elements in Figure 3-58). The middle portion pitched roof is supported by timber king posts, purlins and batten system. The roofs in the front and rear portions RC were originally single pitched roof supported by rafters sitting on eave purlins tied back to brick walls by tie bars. However, the roofs have been replaced by concrete flat roof slabs sitting on RC beams, cross brick arches and columns. Door and window openings are supported by RC concrete lintels. Windows also carry concrete sills.

Observing the G/F and 1/F framing plans (Figure 3-62 & Figure 3-63), the structural brick walls, arches and columns were layouted in a way to allow two large spaces in the middle portion that only divided by chimney stacks and cross walls so as to suit for accommodating soldiers, as well as to allow one long, narrow and continuous verandah space in the front and rear portions that cross arches do not disturb the continuity. The structural layout thus contributes character of the building.

Timber flooring and roof structures also reflect the building technology and materials of the era of early colonial Hong Kong. Timber flooring structure is rare even among historic buildings in Hong Kong. However, they are now hidden by false ceiling and floor finishes and cannot be seen.

It is worth-noting from the 1906 section (Figure 3-58) that there are a few fabrics made of granite, including the column capitals on 1/F verandahs and the balustrade bases on G/F and 1/F verandahs. However, based on the comparison of the 1906 and 1986 sections, it is suspected that the 1/F verandah columns might have been altered (made taller) so it is unsure if the original granite capitals still exist. And, as the verandah balustrades were removed for enclosing verandahs in 1986-89, it is also unsure if the original granite balustrade bases still remain. These can only be made clear until the current render and paint finishes as well as the verandah opening infills are removed or opened up for inspection.

B/E

There were lack of historic floor plans of the basement (or lower ground floor), and it is assumed to have been unused or used only as storage place. As per site observation, the basement seems rather untouched. There are segmental brick arches on the entire floor, which are structural elements that sit along the structural grids. They support the brick arches/ walls/ columns as well as timber joist & timber flooring (middle portion) or concrete floor slab (front and rear portions) of the floor above. Timber joist and flooring of the floor above can be observed from the ceiling. The brick base of the chimney stacks can also be observed. There are honey-comb patterned brick screen filling up some of the arches, which are estimated to be original fabrics. Interestingly, an old lighting power switch box with signage "Barracks South Main Switch" and a cast iron air grille, which are aged if not original, are also found.



Figure 3-65 The segmental brick arches in basement.



Figure 3-66 A chimney stack base.



Figure 3-67 The honey-comb patterned brick screen wall.



Figure 3-68 A light power switch box with "Barrack South Main Switch".



Figure 3-69 A cast iron air grille.

G/F

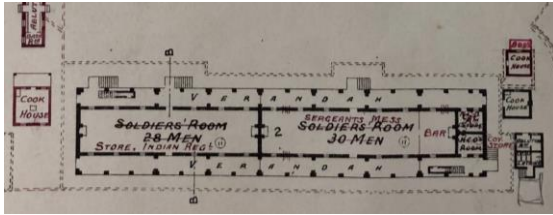


Figure 3-70 1906 G/F Plan, extracted from the 1906 Whitfield Barracks Skeleton Record Plan, sheet 2/3 (Source: TNA WO78#3744)

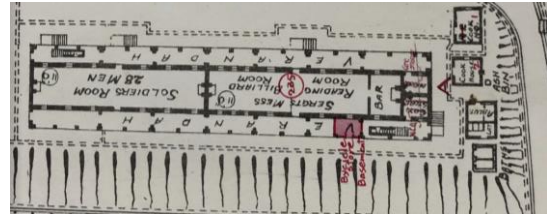


Figure 3-71 1913 G/F Plan, extracted from the 1913 Whitfield Barracks Skeleton Record Plan, sheet 2/3 (Source: TNA WO78#3744)

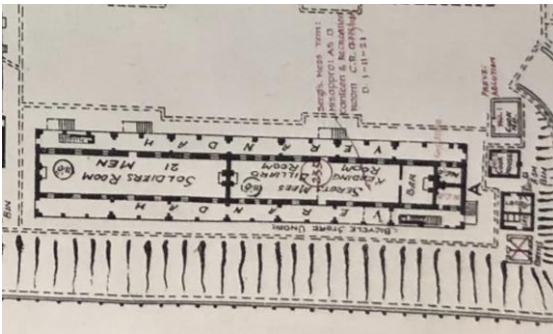


Figure 3-72 1922 G/F Plan, extracted from the 1922 Whitfield Barracks Skeleton Record Plan, sheet 2/3 (Source: TNA WO78#3744)

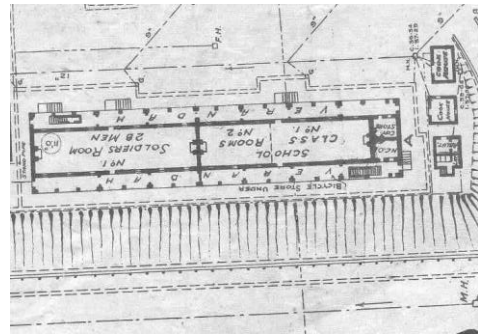


Figure 3-73 1926 G/F Plan, extracted from the 1926 Whitfield Barracks Skeleton Record Plan, sheet 1/2 (Source: PRO HKRS913-1)

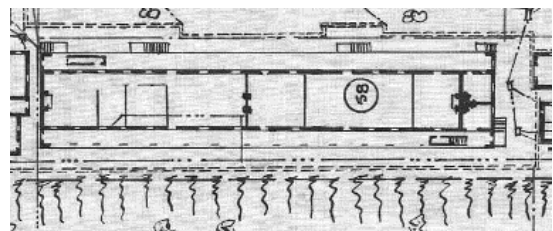


Figure 3-74 1961 G/F Plan, extracted from the 1961 Whitfield Barracks Skeleton Record Plan. (Source: PRO HKRS913-1-122)

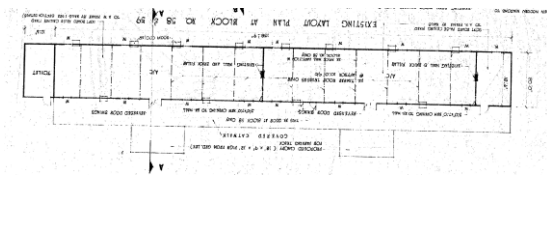


Figure 3-75 1970 G/F Plan, extracted from 1970 Kowloon Park 1970 Annex B Drawing No. A/55161 (Source: ArchSD)

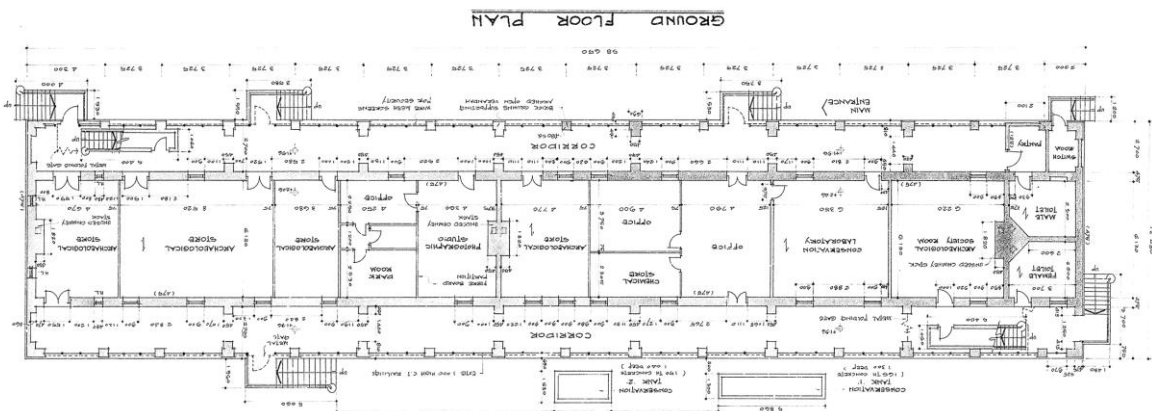


Figure 3-76 1986 Existing G/F Plan, extracted from Architectural Proposed Plan for Kowloon park 1986, Drawing No. ASM/5702. (Source: ArchSD)

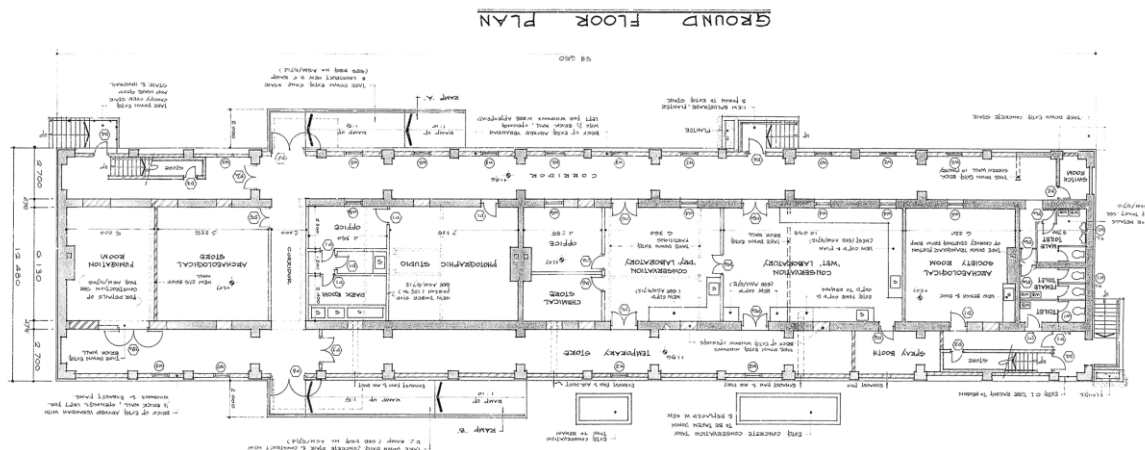


Figure 3-77 1986 Proposed G/F Plan, extracted from Architectural Proposed Plan for Kowloon park 1986, Drawing No. ASM/5703. (Source: ArchSD)

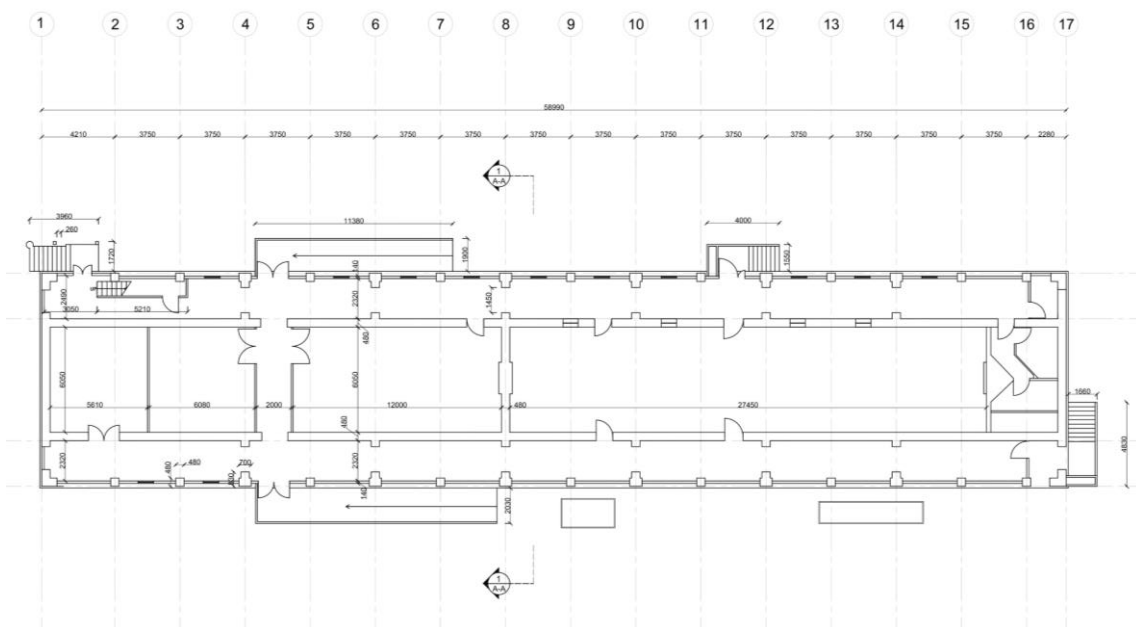


Figure 3-78 G/F plan, nowadays. (Source: Architectural Services Department)

The front and rear portions were constantly used as verandahs, except that the east end of the front verandah had been enclosed likely since the 1983 renovation. However, the renovation in 1986-89 further enclosed the entire two verandahs and the metal railings were taken down. Since 1989, the rear verandah has been partitioned to form a staircase protected lobby, a spray booth, a temporary store, and a corridor connected to the new ramp. The front verandah has been partitioned to form a switch room, a corridor connecting the middle external staircase and the new ramp, and a staircase protected lobby.

The verandahs of G/F are currently plastered and painted in white. Arches are found on the internal side of the external wall, corresponding to the bays observed from the building exterior. The opposite internal wall (sharing with the middle portion) carries windows and doors that appear in a rhythm aligning the arches. Some exceptions exist though, suggesting

that they are likely later alterations. There are metal vent grilles on the internal wall for ventilation purposes in the old days, but some are currently being blocked up and painted over. 6 cross arches are found along each of the verandahs.



Figure 3-79 A metal vent grille found on G/F verandah internal wall.



Figure 3-80 A cross arch (middle) and an arch on the internal side of the external wall (left) in G/F verandah.

From 1906 to 1961, although functions of the rooms in the middle portion changed slightly during Whitfield Barracks era, the layout of the middle portion on the ground floor remained constant, where it was distinguished through the location of the three chimney stacks and the cross walls attaching to them. The chimney stacks divided the middle portion naturally into two large **soldiers'** rooms and two small NCO (**non-commissioners' office**) rooms originally. One of the large soldiers was partitioned to give a bar later. However, with the change of its the use into a museum storage in 1983, the two large rooms have been partitioned into rooms while two small rooms have been used as toilets. A corridor crossing the middle portion has been introduced by enlarging door openings into verandahs since 1986 to facilitate circulation across the front and rear verandahs, which is considered a rather drastic disturbance to the verandah internal walls. Luckily, the chimney stacks and their attaching cross walls remain undisturbed. The 2013 plan matches the 1986 layout.

Rooms in the middle portions on G/F are currently finished with plaster and paint on walls, grid false ceiling (existence of any ceiling cornice and exposed timber floor structure undetermined until open up) and vinyl tile flooring.



Figure 3-81 The cross-brick walls on the two sides of a chimney stack on G/F

1/F

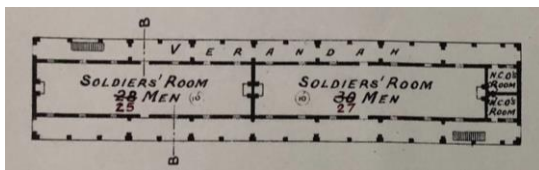


Figure 3-82 1906 1/F Plan, extracted from the 1906 Whitfield Barracks Skeleton Record Plan, sheet 3/3 (Source: TNA WO78#3744)

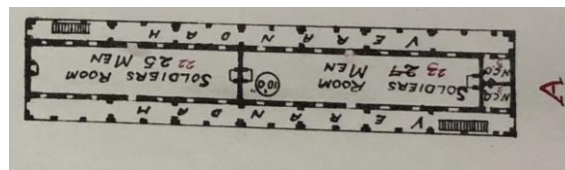


Figure 3-83 1913 1/F Plan, extracted from the 1913 Whitfield Barracks Skeleton Record Plan, sheet 3/3 (Source: TNA WO78#3744)

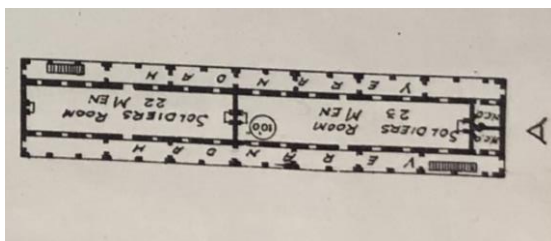


Figure 3-84 1922 1/F Plan, extracted from the 1922 Whitfield Barracks Skeleton Record Plan, sheet 3/3 (Source: TNA WO78#3744)

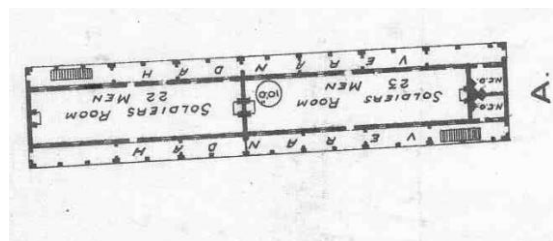


Figure 3-85 1926 1/F Plan, extracted from the 1926 Whitfield Barracks Skeleton Record Plan, sheet 2/2 (Source: PRO HKRS913-1)

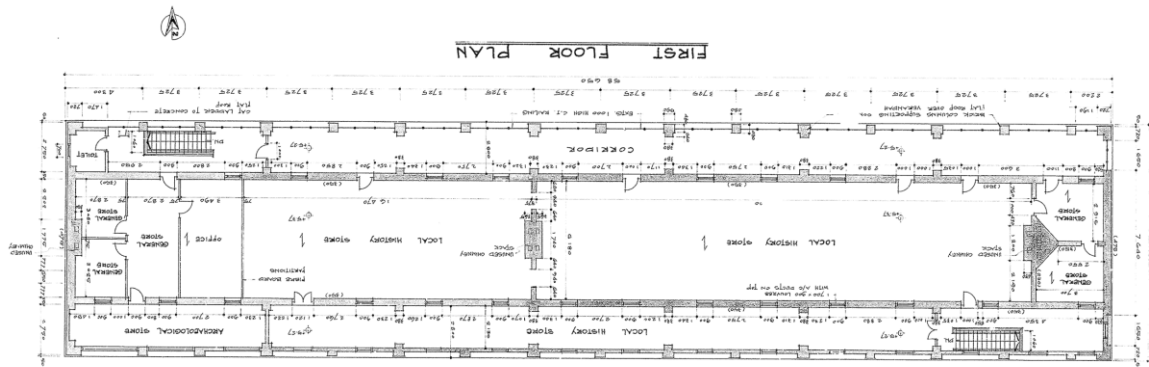


Figure 3-86 1986 Existing 1/F Plan, extracted from Architectural Proposed Plan for Kowloon park 1986, Drawing No. ASM/5702. (Source: ArchSD)

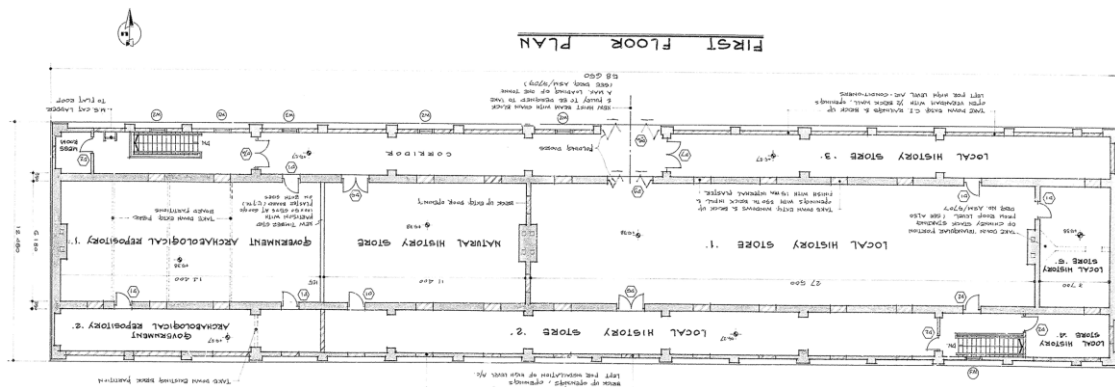


Figure 3-87 1986 Proposed 1/F Plan, extracted from Architectural Proposed Plan for Kowloon park 1986, Drawing No. ASM/5703. (Source: ArchSD)

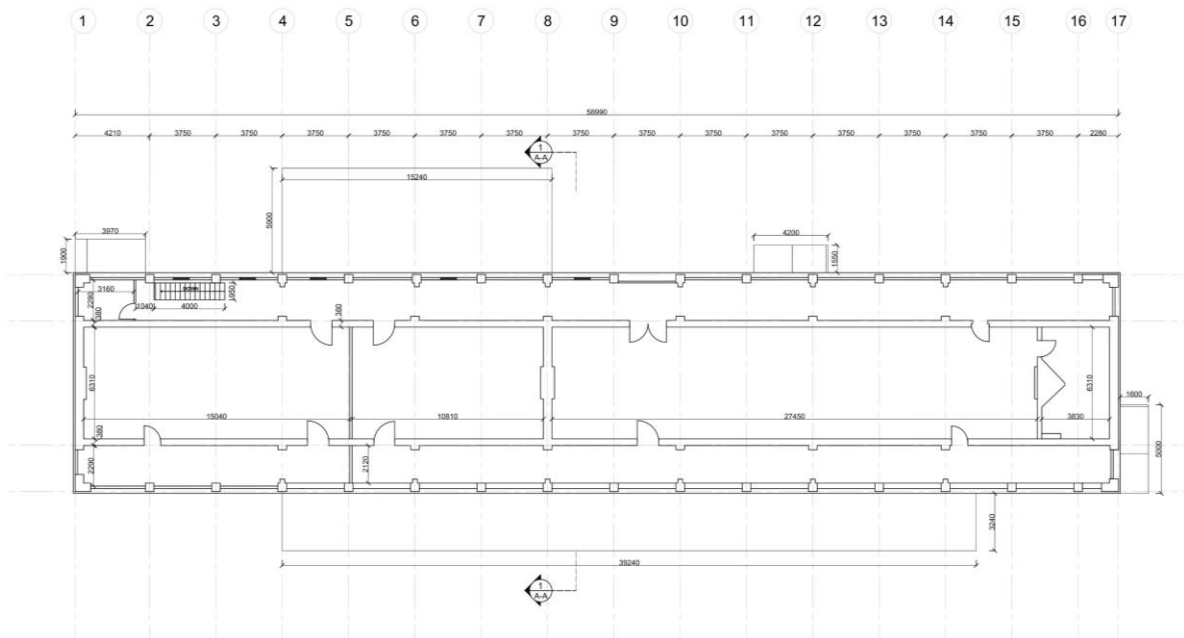


Figure 3-88 1/F plan, nowadays. (Source: Architectural Services Department)

The verandahs had been unchanged during Whitfield Barracks era. The rear verandah has been enclosed since 1983 renovation and partitioned to give a staircase protection lobby, a “local history” store and the government archaeological repository. A small “local history” store has been further added since 1986-89. The front portion remained open in 1983 except enclosed at the west end for adding a toilet. However, it has been completely enclosed and divided into a “local history store”, a corridor, a staircase protected lobby and a mess since 1986-89.

The plastered and painted column with plain capital and base on the interior side of the external wall of 1/F verandah are part of the original structure. As observed in the internal walls in the front and rear verandah, there are also metal vent grilles that were used for ventilation purposes, but some are currently being blocked up and painted over.

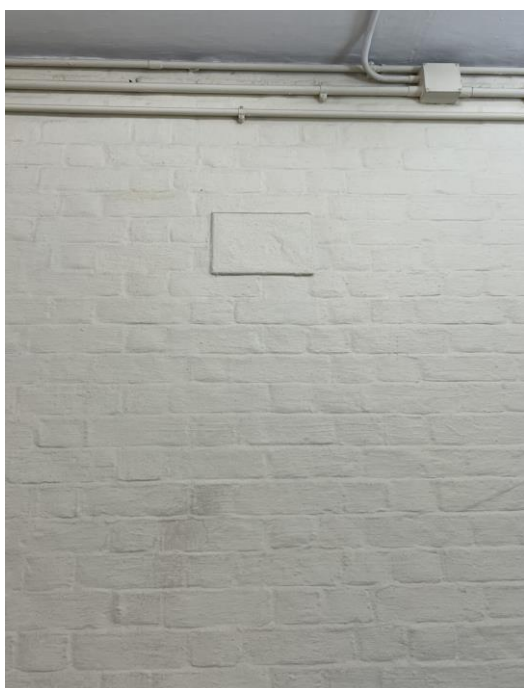


Figure 3-89 A blocked vent grilles on 1/F verandah.



Figure 3-90 A plastered column on the internal side of the external wall of 1/F verandah.

The layout in the middle portion of the first floor remained constant, and similar to the ground floor, this portion are naturally divided by chimney stacks. During Whitfield Barracks era, there were two large rooms for soldiers and two small NCO rooms at the east end.

In the 1983 renovation, two openings were added to the cross-brick walls on the two sides of the middle chimney stack while one was added to a cross-brick wall of the west chimney stack. This increased accesses between the rooms but caused disturbance to the original fabric. Other changes were addition of partitions to form more rooms for stores and an office. In 1986-89, the two openings on the cross-brick walls of the middle chimney stack were filled back. There were also other changes in partition layout. Window and door openings inter-changed during the two renovations but it is unsure if there were enlargement of structural width. However, the introduction of an opening to receiving large object transferred by the hoist beam of the front façade has surely enlarged the door opening at that particular location.

Finishes are the same as those on G/F, except the ceiling where the pitch roof structures are semi-covered by ceiling grilles.

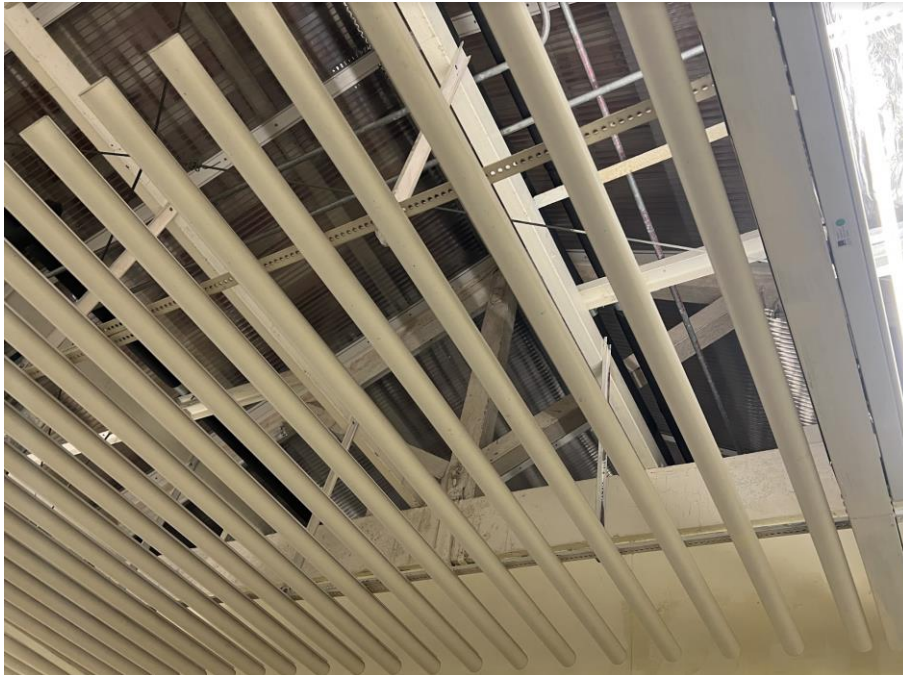


Figure 3-91 Ceiling grilles in the middle portion.

Interior Staircase

There are two granite staircases leading from G/F to 1/F, one at each end of the verandah. They are built in granite flights partly inlaid with wash grano surface, cast iron posts and railings. The interior stairs are predicted to be the original fabrics, except where some of the posts and railings are embedded in the later added enclosed walls of verandahs. The railing on the south staircases of 1/F appears not to be the original fabric. There are supporting brick walls in the middle of the underside of the flights.



Figure 3-92 An internal staircase attaching to its enclosed wall (Left).



Figure 3-93 The cast iron posts and railings of the interior staircase.

Windows and Doors

Windows and doors are lay on the internal brick walls, i.e. between the verandahs and the middle portions.

By comparing the layout of plans from various times, the middle portion had been through multiple alterations, in which many of the door and window openings have been changed. Some change from doors to windows; some change from windows to doors, some are new openings and some originals are blocked. The most intrusive disturbances are the enlargement of one opening on 1/F next to the hoist beam and the two on G/F for introducing a corridor across the two veranda.

Doors, windows and louvres all appear to be non-original fabrics, which most are added or alternated during the 1983 and 1986-89 renovations. As mentioned above, some door openings seem to match the door openings in the original layout at the ground floor, but door and window frames seem to be later addition and later alterations which are not part of the original fabrics.

As mentioned in the above section about structure, original windows and doors should be equipped with RC concrete window and door heads and window sills. The door threshold materials is unsure (may be granite). Since all the heads, sills and thresholds are covered by renders, paints and finishes, the existence of these original features cannot be sure until determining by opening up.



Figure 3-94 Traces of a filled window.



Figure 3-95 A door opening with traces of a concrete lintel at door head.

4

STATEMENT OF SIGNIFICANCE

4.1 Historic Value

From its establishment in 1864 till its evacuation in 1969, Whitfield Barracks had been a military site serving Hong Kong for over a century. As the first barracks (or even first land lot) set up in Kowloon after the ceding of the land in 1860, its establishment not only showed the military and defence strategies of the British adopted in Hong Kong and in Asia Pacific region during early colonial periods, but also fundamentally dictated the urban development in Kowloon Peninsula. Its extensive construction phase during the 1891 to 1922 marked the historic period of military development in Hong Kong, which reflected the turbulent eras in the region. Its evacuation in the 1960s also reflected the end of those eras.

Previously known as Block A or Block S58, Block 58 was one of the very first (if not the first) barrack block built in Whitfield Barracks and still remains nowadays.

The formation of Kowloon Park, on the other hand, represented the Hong Kong **Government's commitment in response to the public's long request** for a green space in the congested Tsim Sha Tsui district and thus reflected the establishment of post-WWII modern Hong Kong when **people's livelihood started to be uplifted**. From its first opening in 1970, to the full opening in 1989, and to nowadays, it has been providing the public a unique green environment with various recreational and cultural facilities.

Though only used as a supporting to the Museum of History, Block 58 still has been contributing to the cultural services development history in Hong Kong since 1983.

Altogether, Block 58 and the site it belongs to contribute an important part to Hong Kong history of almost 160 years.

4.2 Contextual Value

Located at the centre of Tsim Sha Tsui, one of the busiest districts in Hong Kong, Whitfield Barracks and Kowloon Park have been itself a dominating urban piece in Tsim Sha Tsui district that dictates the **district's development**.

Whitfield Barracks was contextually important as one of the military facilities of the coastal defence line taking care of the safety of the west entrance of Victoria Harbour, but ironically an obstacle for urban, in particular commercial, development of the south tip of the peninsula. Unfortunately, most of the companions of the defence line (e.g. the naval sites and batteries on two sides of Victoria Harbour) do not exist nowadays. Whitfield Barracks and Kowloon West II Battery are the two remains, though both of them have been converted to Kowloon Park. Block 58 is in turn one of the four barrack buildings in Whitfield Barrack that remain.

As one of the most important and biggest parks in the urban Hong Kong, Kowloon Park has successfully transformed a public inaccessible barracks to a public beloved place, as well as changed entirely the urban experience Tsim Sha Tsui.

Within the park, both cultural and recreational facilities are provided in a combination of old and new buildings. Together with other structures of Whitfield Barracks, namely Block S61 and S62 (current Heritage Discovery Centre, Block S4 (current Health Education Exhibition and Resource Centre), **Kowloon West II Battery (current Children's Adventurous Playground)**, and other old boundary stone, granite retaining walls and air-raid tunnel and their portals, Block 58 (current [Storage](#) for the Museum of History) is not only supporting the cultural activities of the Park but also contributing the historic ambience of the park.

4.3 Architectural Value

Whitfield Barracks, during its greatest extent (building number-wise), carried over a hundred buildings and showcased various types of British military architecture in the late 19th century till the mid of 20th century. Unfortunately, only 4 barrack buildings and a battery of the late 19th/ early 20th century and other traces of old features remain.

Though not planned to be retained in the original Kowloon Park master plan, the preserved and reused barrack buildings and battery blend well in with the greenery and landscape in the park, forming a unique place for culture and leisure.

Block 58, formerly Block A or Block 58 of Whitfield Barracks, is a typical Colonial Neo-Classical army barrack building with functional design and with minimal decoration. It was designed along the lines of the standard British military barracks and followed the British architectural styles. However, local techniques and materials were adapted to accommodate the hot and humid local climate. Timber flooring and roof structures with king posts are two of the important fabrics to reflect building materials used in the late 19th century. However, some alterations done for adaptive use have diminished the beauty of the building, in particular, the enclosure of verandahs in 1986-89.

4.4 Social Value

Having served and safeguarded our city for a century and stood through WWII, Whitfield Barracks was (and is) a widely recognized military site among Hong Kong people. However, due to its military nature, except its four boundary walls, its buildings and happenings within the Site was not well recognised by the public, despite that it stands in the busiest area of Hong Kong.

Kowloon Park has, on contrary, opened up the site for public enjoyment for half a century and become one of the most important public parks in Hong Kong.

Though located next to the Haiphong Road entrance of Kowloon Park and fronting Haiphong Road, Block 58 has been kept as a museum storage in the last 40 years and not opened to the public. [Its adaptive reuse will bring a good opportunity to open the building to the public and to enhance its social value.](#)

5

CHARACTER-DEFINING ELEMENTS

5.1 Definition




Six levels of significance have been used to describe the elements individually in this report and a description of these levels is provided below. The following table is intended to provide a summary understanding of the site and help to inform future decisions for change.

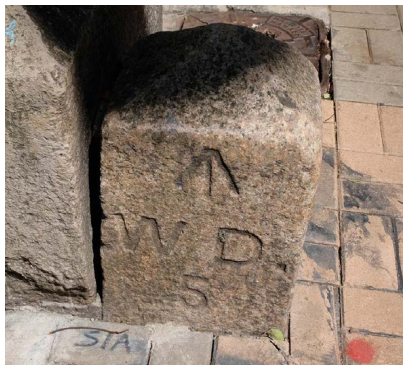



Level	Meaning
Very high	This describes elements which make are essential to understanding and appreciating the heritage value and overall character of the place. Their removal or substantial alteration would be detrimental and would negatively impact upon significance. In almost every case, this will include elements which are original and unaltered, or which are associated with an important historical association.
High	This describes elements which make a beneficial contribution to the heritage value of the place, and whose removal or substantial alteration would be detrimental to the significance of the place. In most cases, this will include elements which are original or early to the place, and which have not been altered.
Medium	This describes elements which contribute to the overall character of the place, but are not essential for maintaining its heritage value.
Low	This describes elements which make little contribution to the significance of the place, and whose alteration or removal would not be detrimental to the heritage value of the place.
No	This describes elements which make no contribution to the significance of the place, and whose removal would not affect the heritage value of the place. They are NOT character- defining elements, and are NOT exhaustively listed in the table below.
Intrusive	Where an individual space or element detracts from the appreciation of cultural significance, by adversely affecting or obscuring other significant areas, elements or items, the removal of which would be beneficial to the place. They are NOT character-defining elements.

Table 5-1 Definition of level of significance



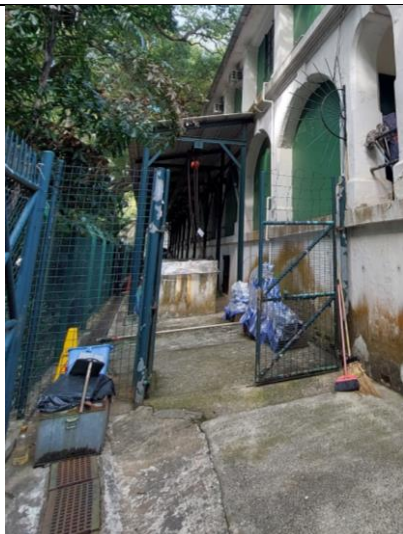

5.2 Character-Defining Elements



5.2.1 Former Whitfield Barracks/ Kowloon Park within the Site

No.	Description	Level of Significance	Photo
1	Kowloon Park & Block 58 being located on a plateau higher than street level to maintain a vista to overlook the harbour [though view to the harbour could no longer be seen due to reclamation and development]	Very high	
2	Remaining barrack blocks within Kowloon Park, including Block 58, Block 61, Block 62 located within 50m from the Project Site Area and their contextual connection (as military buildings in Whitfield Barracks as well as cultural/ recreational uses for the public in Kowloon Park)	Very high	
3	Original Whitfield Barracks granite boundary wall next to Block 58, including the following located within 50m from the Project Site Area: <ul style="list-style-type: none"> South boundary wall West boundary wall (outside Kowloon Park) OVTs on the slope between the boundary wall and Block 58 Trees on slope between the boundary wall and 	<p>Very high</p> <p>Very high</p> <p>High</p> <p>No</p>	 



No.	Description	Level of Significance	Photo
	<p>Block 58 that block views to Block 58 from Haiphong Road</p> <ul style="list-style-type: none"> - Chain-link fence on top of the boundary walls/ surrounding Block 58 - Boundary stone "W.D. 5" 	<p>Intrusive</p> <p>Very high</p>	
	<ul style="list-style-type: none"> - Vehicular entrance of Kowloon Park next to Block 58 	No	
	<ul style="list-style-type: none"> - Staircase from Haiphong Road to Kowloon Park Drive 	No	
	<ul style="list-style-type: none"> - Gate and a stair flight leading up to Block 58 from Haiphong Road 	Low	

5.2.2 Setting of/ Open Space next to Block 58

No.	Description	Level of Significance	Photo
4	Concrete tanks at northeast and south open spaces [Non original fabric]	Intrusive	 
5	Metal gates or fences surrounding/ attaching to Block 58 or separating it from the rest of Kowloon Park [Later added fabric]	Intrusive	 





No.	Description	Level of Significance	Photo
6	View to Hoiphong Road	High	
7	View to Kowloon Park/ Block S61	High	




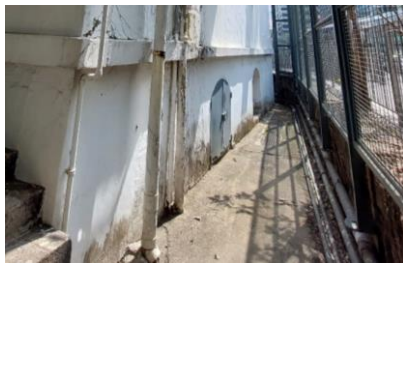
5.2.3 Block 58 Exterior




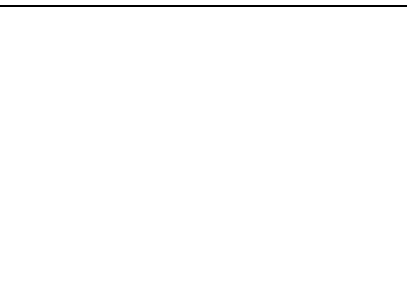
No.	Description	Level of Significance	Photo
8	Building mass and form [Building form is of rectangular simple shape as a military barrack]	Very high	
9	<p>North (front) façade facing Kowloon Park, with:</p> <ul style="list-style-type: none"> - Entablatures with plain cornices (as roof eave overhang and now hidden by gutter), no frieze and plain and chamfer-edged architrave at roof level - Verandahs with rectangular openings on facades (now blocked) on 1/F [The blockage is intrusive] - Rendered columns with plain capital and base on 1/F - String course at 1/F slab level with moulding - Verandahs, with chamfer-edged rendered brick segmental arch openings (now blocked, either by recessed or flushed walls), keystone, supported by rendered columns on two sides on G/F [The blockage is intrusive] 	<p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p>	



No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> - Plain string course at ground slab level 	Very high	
	<ul style="list-style-type: none"> - Segmental arch openings on LG/F (now blocked or installed with louvres) [The blockage and louvres are later addition and have no value] 	Very high	
	<ul style="list-style-type: none"> - Later added steel hoist beam for good delivery and shutter 	Intrusive	
			



No.	Description	Level of Significance	Photo
10	East (side) façade facing Kowloon Park, with:	Very high	   
	- On its two sides, the return walls of north and south façade verandahs on G/F and 1/F (blocked except G/F left), with features similar to north and south façades [The blockage is intrusive]	Very high	
	- At the centre, gable wall with moulded cornice	Very high	
	- Bullseye window opening	Very high	
	- The painted number "58"	Very high	
	- The painted, protruded, ringed letter "A"	Very high	
	- Moulded string course at 1/F slab level	Very high	
	- Rectangular openings on G/F	Intrusive	
	- Rain water downpipe	Intrusive	



No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> - Segmental arch openings on LG/F (now blocked) [The blockage is later addition and have no value] 	High	
11	<p>South (back) façade facing Hoiphong Road, with:</p> <ul style="list-style-type: none"> - Entablatures - Verandahs with rectangular openings on 1/F (blocked) - Plain columns on 1/F - Moulded string course at 1/F slab level - Verandahs with arch openings on G/F [All blocked, except the right ending bay remains open, The blockage is intrusive] - Plain string course at G/F slab level - Segmental arch openings on LG/F (blocked or installed with louvres) - Cast iron railing at verandah opening (the right ending bay) on G/F - Metal spike 	<p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>Very high</p> <p>No value</p>	  




No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> - Metal grille and rain water outlets at LG/F skirting level 	Medium	
12	<p>West (side) façade facing Kowloon Park Drive, with:</p> <ul style="list-style-type: none"> - On its two sides, the return walls of north and south façade verandahs on G/F and 1/F, with features similar to north and south façades - At the centre, gable wall with moulded cornice - The painted, protruded, ringed letter "A" - Moulded string course at 1/F slab level - Plain string course at G/F slab level - Segmental arch openings on LG/F (now blocked or installed with gate) [The blockage or gate are later addition and have no value] - Later added building services installation, including vents 	<p>High</p> <p>High</p> <p>High</p> <p>High</p> <p>High</p> <p>Medium</p> <p>Intrusive</p>	  

No.	Description	Level of Significance	Photo
	and associated wall openings - Rain water downpipe	Intrusive	
13	External staircase in front of north façade, with: <ul style="list-style-type: none"> - Granite staircase flights partly inlaid with wash grano finish on surface - Render parapet wall and painted metal railing [non-original fabric] - Corrugated metal roof with columns [non-original fabric] 	Very high Very high No value Intrusive	 
14	External staircase at the northwest corner, with: <ul style="list-style-type: none"> - Granite staircase flights partly inlaid with wash grano finish on surface - Cast iron railing and posts, except the lowest post 	High High High	

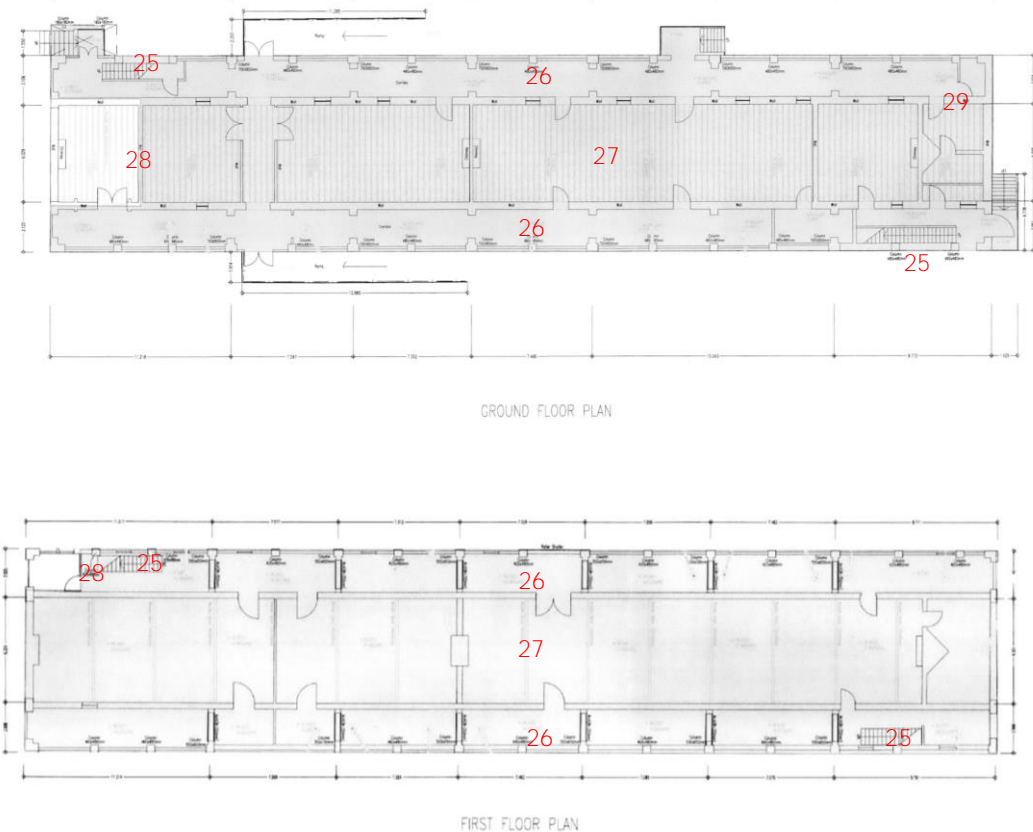
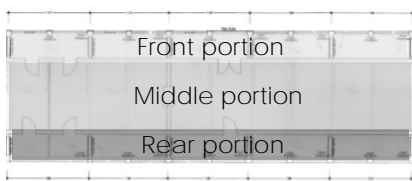

No.	Description	Level of Significance	Photo
	<p>[The lowest post is not original fabric]</p> <ul style="list-style-type: none"> - Concrete flat roof and supporting beam and columns [non-original but aged fabric] 	No	
15	<p>External staircase at the southeast corner, with:</p> <ul style="list-style-type: none"> - Granite staircase flights partly inlayed with wash grano finish on surface - Render parapet wall and painted metal railing [non-original fabric] - Corrugated metal roof with columns [non-original fabric] 	<p>Very high</p> <p>Very high</p> <p>No value</p> <p>Intrusive</p>	

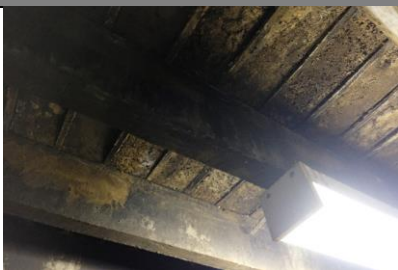
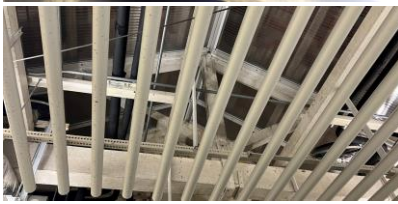
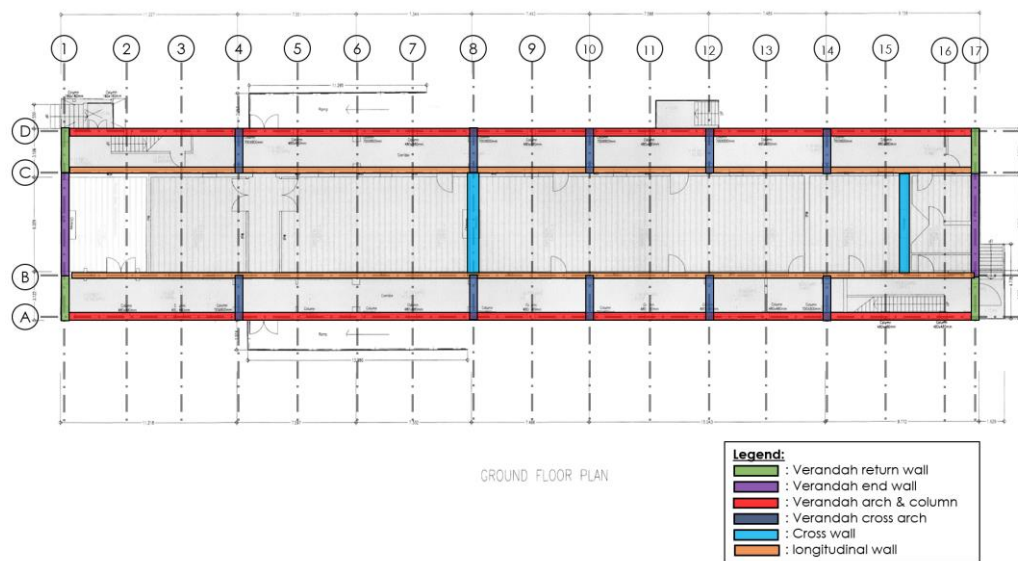
No.	Description	Level of Significance	Photo
			
16	Ramps in front of front façade and metal railing [1986 intervention]	Intrusive	




No.	Description	Level of Significance	Photo
17	Corrugated metal sheds with metal supporting structures and pulleys attaching to front and back façades	Intrusive	
18	Metal deck and supporting structure for air conditioning unit attaching to front façade [Later addition]	Intrusive	

No.	Description	Level of Significance	Photo
19	Pitched roof in the middle, with:	Very high	
	- Double pan, double roll Chinese clay tiles	High	
	- Monitor roofs	Very high	
20	Chinmeys with moulding	Very high	
21	Flat roofs on north and south sides, with:	Medium	
	[Original design of the roof appears to be pitched but later altered to flat roof]	No value	
	- Access hatch opening on roof	Intrusive	
	- Building services installation, including water tank		







5.2.4 Block 58 Interior


No.	Description	Level of Significance	Photo
	 <p>GROUND FLOOR PLAN</p> <p>FIRST FLOOR PLAN</p>		
23	<p>Building layout consisted of three portions, including:</p> <ul style="list-style-type: none"> - front (north) portion – verandah and staircase at west end - middle portion – living rooms - rear (south) portion – verandah and staircase at east end 	Very high	 <p>Front portion</p> <p>Middle portion</p> <p>Rear portion</p>
24	<p>Building structure, generally consisted of:</p> <ul style="list-style-type: none"> - chamfered concrete beams (1/F) and slabs (G/F and 1/F) at verandahs and flat roof on front and rear portions 	<p>Very high</p> <p>Very high</p>	




No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none">- timber joist and plank flooring on G/F and 1/F at middle portion	Very high	 
	<ul style="list-style-type: none">- timber king posts, purlins and batten structure of roof at middle portion	Very high	
	<ul style="list-style-type: none">- brick arches/ walls/ columns, including verandah return wall (grid AB1, CD1, AB17, AB17), verandah end wall (grid BC1 & BC17), verandah arches/ columns (along gridline A&D), verandah cross arches (grid AB4, CD4, AB 8, CD8, AB10, CD10, AB12, CD12, AB14, CD14), longitudinal wall (along grid B & grid C), cross walls (grid BC8, between grid BC15/16) <p>[1/F verandah column substrate TBC upon opening up of rendering]</p>	Very high	
 <p>GROUND FLOOR PLAN</p> <p>Legend:</p> <ul style="list-style-type: none">: Verandah return wall: Verandah end wall: Verandah arch & column: Verandah cross arch: Cross wall: longitudinal wall			

No.	Description	Level of Significance	Photo
25	<p>Two granite staircases from G/F to 1/F, one at each verandah, with:</p> <ul style="list-style-type: none"> - Granite flights partly inlaid with wash grano surface - Cast iron posts and railing [some of them are partly embedded in later added enclosure walls of verandahs] - 1/F railing of the south staircase [appears not original fabric] - Supporting brick walls in the middle of the flights - Enclosing wall [May not be original fabric] - Metal door leading to exterior 	<p>Very high</p> <p>Very high</p> <p>Very high</p> <p>No</p> <p>Very high</p> <p>Low</p> <p>No</p>	  



No.	Description	Level of Significance	Photo
			
26	<p>Verandahs at both front and rear portions on both G/F and 1/F, with:</p> <ul style="list-style-type: none"> - Enclosed verandah setting - Plastered and painted segmental brick arches and columns on 1/F interior side of the external wall - Plastered and painted columns with plain capital and base on G/F interior side of the external wall [Substrate to be confirmed after plaster open up] - Plastered and painted internal walls on both G/F 	<p>Very high</p> <p>Intrusive Medium</p> <p>Medium</p> <p>Medium</p>	


No.	Description	Level of Significance	Photo
	<p>and 1/F (along grid B and C)</p> <ul style="list-style-type: none"> - Metal vent grilles on the brick walls on both G/F and 1/F [now painted over] 	High	  
	<ul style="list-style-type: none"> - Original door and window openings with heads and thresholds built in on the internal walls [Substrate of heads and thresholds to be confirmed after plaster open up] [Some original doors have been changed to windows and vice versa] - Later added door and window openings 	<p>High</p> <p>Intrusive</p>	  

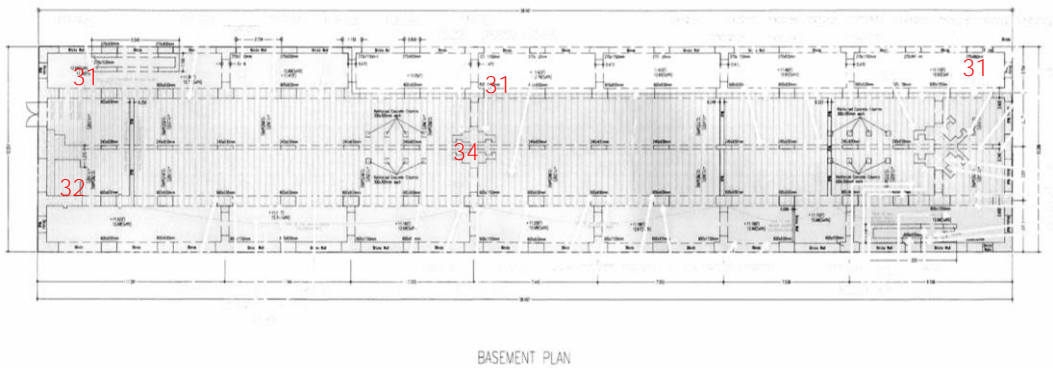



No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> Doors, windows and louvres [All appears to be non-original fabric] 	No	
	<ul style="list-style-type: none"> Plastered and painted cross arches [part of structure] [Two archways have been blocked to form Room 109 and 209, which are later intrusive acts] 	Medium	Room 109:
	<ul style="list-style-type: none"> Plastered and painted ceiling 	Medium	
	<ul style="list-style-type: none"> Screeded floor 	Medium	
	<ul style="list-style-type: none"> Thermoplastic/ vinyl floor 	Intrusive	
	<ul style="list-style-type: none"> Later added partition walls 	No	Room 209:



No.	Description	Level of Significance	Photo
			
27	<p>Rooms in the middle portions, with:</p> <ul style="list-style-type: none"> - Chimney stacks (5 nos. on G/F and 5 nos. on 1/F) 	<p>Medium</p> <p>Very high</p>	 

No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> - Cross walls on the two sides of the chimney stacks 	High	 
	<ul style="list-style-type: none"> - Vinyl floor tiles (later added) [Maybe hiding original timber plank flooring, TBC upon removal of vinyl floor] 	No	
	<ul style="list-style-type: none"> - False ceiling on G/F and ceiling grilles on 1/F [Maybe hiding ceiling moulding, TBC upon removal of false ceiling] 	Intrusive	

No.	Description	Level of Significance	Photo
	<ul style="list-style-type: none"> - Plastered and painted internal walls on both G/F and 1/F 	Medium	
28	Metal cat ladder on 1/F, with: <ul style="list-style-type: none"> - access hatch on ceiling 	No No	

No.	Description	Level of Significance	Photo
29	<p>Lavatories, with:</p> <ul style="list-style-type: none"> - Location - Layout and fixture - Wall and floor finish - False ceiling - High louver and extract fan <p>[All are non-original fabric]</p>	No for all	

No.	Description	Level of Significance	Photo
	 <p>BASEMENT PLAN</p>		
30	Segmental arches composed of brick on the entire floor (structure)	Very high	
31	Chimney stack bases	Very high	
32	Switch box with signage indicating barrack use	High	

No.	Description	Level of Significance	Photo
33	Patterned brick screen wall on the entire floor [estimated to be original fabric]	Medium	
34	Cast iron air grille [Suspected original fabric]	High	

6

OPPORTUNITIES AND CONSTRAINTS

6.1 Physical Condition

Weakness/ constraints:

- Block 58:

Based on site observation, Block 58 in fair condition. Alterations can be easily identified, which makes restoration of original fabrics quite feasible.

However, condition of some structural bricks is found in dilapidated status. This is likely caused by the low humidity environment of the interior controlled by dehumidifier for museum storage, which has continuously drawn moisture from air in through bricks and cracked/ **damaged/ disintegrated bricks' structure. Situation is particularly serious at interior chimney stacks** where chimney hoods are highly damped by leakage and vegetation on chimney top at roof but chimney stacks are kept dried by dehumidifier, which creates a large moisture level difference and thus high evaporation rate within bricks. Ironically, bricks on LG/F, of which the floor area has been kept untouched, unused without much maintenance, but naturally ventilated as per its original setting, are found in much better condition.

Condition of timber structures has yet been determined, subject to future open up inspection and condition survey result.

- Other heritage items within the Study Site:

Block S61 and S62 are being used as Heritage Discovery Centre and under frequent maintenance. South and west granite boundary walls of the Former Whitfield Barracks are also found in good condition without major defects (except the alterations that have been carried out over the years as mentioned in chapter 3).

Opportunity:

- Block 58:

The adaptive reuse of Block 58 is a good opportunity to fix the defects of the damaged fabrics and to restore the altered/ lost original fabrics, e.g. opening up the veranda, restoring cast iron balustrades, rationalizing window and door openings, restoring timber windows and doors. Most importantly, change of use of the building to avoid functions requiring high standard of humidity control (i.e. museum and museum storage) is vital and fundamental to save bricks of the building in the long run.

6.2 Compliance of Current Regulations

Weakness/ constraints:

- Block 58:

According to the current Buildings Ordinance, buildings involving change of use should be altered and upgraded to comply the current statutory requirements. The adaptive reuse of Block 58 therefore needs to be upgraded under this requirement, which means that alteration and disturbance to the original building fabric (e.g. balustrade upgrade, barrier free access addition, etc.) is unavoidable. There are several critical issues, namely:

- EVA: The existing sub-standard emergency vehicular access to Block 58 is a vital deficiency that needs to be resolved during the adaptive reuse.
- Fire Services Installation: Another vital deficiency is the lack of fire services and sprinkler water tanks and pumps inside Block 58. They are needed to be added to Block 58 or in a new annex supporting Block 58.
- Loading capacity: The block 58 was constructed as military barrack and is currently used for storage by LCSD.

Since it has carried storage load for a considerable period in the past without showing any signs of distress. It is clearly capable of carrying the same load for a further term of use.

According to the "Design and Construction of Military Buildings - A Handbook for the Use of Royal Engineer Officers and Their Staff" by the War Office in January 1905, the design superimposed load for barrack rooms, officer's mess room and large public rooms was 1 CWT/ft², which is equivalent to 5.4kPa.

According to the recent structural survey carried out by structural consultant for Block 58, the G/F and 1/F floor structure of Block 58 was found to be filler joist floors at verandahs and timber joist floors at central rooms. Based on the information obtained from the recent structural survey, the loading capacity of G/F floor structure and 1/F filler joist floor is assessed to be 5kPa, which aligns with the design load. However, due to the long span of timber joists at 1/F, the loading capacity of 1/F timber joist is assessed to be 4kPa by using conservative approach.

The comprehensive structural appraisal with further investigation of the species of timber members is under preparation to confirm the above finding.

- Protective barrier: The existing balustrades on site are sub-standard protective barriers needing upgrade, including:
 - a. Internal staircases (2 nos.) – gaps between members of cast iron balustrades are wider than 100mm, height lower than 1100mm, and structural strength not enough to withstand impact load specify by current code: 1.5kN/m (live load), 1.5kN (point load) and 1.5 kPa (UDL); enclosing wall to one side of the staircase on G/F appears to comply protective barrier requirement
 - b. External staircase at northwest corner – gaps between members of cast iron balustrades (original fabric) are wider than 100mm, height lower than 1100mm, and structural strength not enough to withstand impact load specify by current code: 1.5kN/m (live load), 1.5kN (point load) and 1.5 kPa (UDL);
 - c. Other two external staircases – solid parapets appear to comply protective

- barrier requirements, but are not original fabrics. If they are to be replaced by cast iron balustrade for restoration, the same dimensional problems listed in b. will be applied;
- d. Balustrades of verandahs – verandahs are currently enclosed. If they are to be reopened with cast iron balustrades restored, gaps between members will be wider than 100mm & height lower than 1100mm;
- Fire resistance construction (FRC): The FRC and compartmentation of the building were studied. Investigations had been carried out to identify the fire resisting construction / properties of the building. Upgrading works will be necessary to meet the current standard, including the following area identified:
 - a. Inadequate fire rated performance of the timber roof and timber floor structure (1/F and G/F) of the middle portions;
 - b. Inadequate fire rated performance of the concrete slabs and beams structure, as according to the previous structural appraisal report dated 2013, the overall concrete cover for RC slabs of G/F and 1/F were found to be inadequate, repair of concrete cover might be required;
 - c. Inadequate fire separation (i.e. FRP enclosure/ protected lobby) of the internal escape staircases from the remaining part of the building on G/F and 1/F, as well as, from each other on G/F;
 - d. Inadequate fire rated performance/ protection against fire at door and window openings.
 - Barrier free access: Block 58 lacks barrier free access, for both site access and circulation within the building. Ramps will be needed to bring users from Kowloon Park level to G/F of the building where the main entrance locates. Climbing up to 1/F will need the help by a lift/ lifting platform. There are level difference between verandahs and rooms in the middle portions that hinders wheelchair travelling. Insufficient width of doorways to rooms in the middle portion for barrier free access is also needed to be solved.
 - Means of escape: The two internal staircases are found with the following deficiencies in prescriptive fire code compliance if are used for means of escape staircases:
 - a. Insufficient staircase exit width (960mm which is less than the minimum width of 1050mm)
 - b. Not providing protected enclosures/smoke lobbies
 - c. Landings form part of balcony approach
 - d. Staircase separation exceeds 48m
 - e. Unprotected openings within 6m
 - f. More than 16 risers, handrails, treads & risers deviated from code requirements
 Alternative MOE approach would be needed.
 - Natural lighting and ventilation: Since the usable rooms are having windows facing veranda, if habitation/ office/ toilet/ kitchen usage is proposed, there will be deficiency in terms of the provision of natural lighting and ventilation, unless provision via the reopened verandahs is allowed.
 - Slope stability in the vicinity: Geotechnical assessment has been carried out and it was confirmed that no upgrading works at geotechnical features in the vicinity is necessary.
 - Landscape features in the vicinity: There are a number of big trees and OVTs in the vicinity that any new additions/ EVA/ open space planning should avoid disturbance

to them.

- Other heritage items within the Study Site:
 - Protective barrier: Installation of protective barrier next to the south boundary wall of the Former Whitfield Barracks will be required after removal of intrusive chain-link fence.

Opportunity:

- Both Block 58 & other heritage items within the Study Site:

Upgrading works during the coming adaptive reuse of Block 58 can help Block 58 and its immediate surrounding be adopted for statutory compliance, therefore ensure its sustainability.

Threats:

- Both Block 58 & other heritage items within the Study Site:

Exemptions from regulations or fulfilment by alternative approach (e.g. fire engineering approach) will be needed in order to keep the authentic building fabrics (in particular timber floor structure). Otherwise, heritage values may be compromised during upgrading works for regulation compliance.

6.3 Conflict Caused by Modern-day Additions

Weakness/ constraints:

- Block 58:

Block 58 was not designed with the building services up to current standards. However, it is currently installed with MVAC system with heavy dehumidifying function, which has caused severe brick decay. Though introduction of MVAC cannot be avoidance for future adaptive reuse, over-dehumidification should be avoided. Drainage (rainwater) and sewage systems will need to be upgraded as well.

Opportunity:

- Block 58:

Since building services cannot be eliminated, the coming adaptive reuse of Block 58 gives the opportunity to re-plan and re-design of the intrusive building services and cue the adverse impact caused.

Threats:

- Both Block 58 & other heritage items within the Study Site:

Heritage values may be compromised during upgrading works for modern-day facilities.

6.4 Community Needs and Social Context

Opportunity:

- Both Block 58 & other heritage items within the Study Site:

Buildings of the Former Whitfield Barracks have been revitalised into different uses, including Block S61 and S62 for Heritage Discovery Centre (cultural use) and Block S4 for Health Education Exhibition & Resource Centre (educational use). They share the core function with Kowloon Park – for public education and enjoyment. Block 58, which has been used for museum storage for long, is considered underused in terms of public enjoyment. Its adaptive reuse with an appropriate new use welcoming visitor, can potentially fit it back into the recreational and cultural environment of Kowloon Park, thus help enhance the synergy effects to attract more visitors and promote cultural significance of the overall Kowloon Park/ Former Whitfield Barracks.

6.5 New User's Needs

Weakness/ constraints:

- Block 58:

The choice of new use for Block 58 will be restricted by consideration on the followings:

- The necessary upgrade of the building to fulfill statutory requirements, especially loading and FRC requirement as described in section 6.2 above – the less necessary upgrade, the better the choice of new use;
- The degree of allowed public accessibility – the higher degree of public accessibility, the better the choice of new use;
- The nature of the new use, in terms of the intangible meaning giving by the Site – the better fitting into the building original domestic use and/ or into the current recreational and cultural context of the neighbourhood, the better the choice of new use;
- The nature of the new use, in terms of building layout – the better fitting into the original building layout, the better the choice of new use.

6.6 Interpretation

Weakness/ constraints:

- Both Block 58 & other heritage items within the Study Site:

Since the original use of Block 58 cannot be continued, the social recognition of its original use and history may be lost after the adaptive reuse. In fact, Block S61, S62, and S4 have all been adaptively reused for years, but there has been no heritage interpretation to tell the history of the Former Whitfield Barracks and the establishment of Kowloon Park, which is a pity for this vital heritage site of Hong Kong.

Opportunity:

- Both Block 58 & other heritage items within the Study Site:

The coming adaptive reuse gives the opportunity to introduce interpretation in Block 58 as

well as in Kowloon Park. The introduction of an interpretation area within Block 58 can promote the entire Kowloon Park's **cultural significance** and fill the current gap. It is also recommended that the park management to further consider to provide and incorporate a series of interpretation checkpoints within Kowloon Park when opportunities arise in future, such as future park renovation/ upgrading works

7

CONSERVATION POLICIES AND GUIDELINES

7.1 Definition

The following conservation policies and guidelines are based on:

- Principles set by international conservation charters, including Burra Charter 2013 and Principles for the Conservation of Heritage Sites in China 2015, and
- The findings and analysis in the previous sections of this report.

They aim to point out ways to conserve and enhance the heritage significance of the Site and to allow some potential change in the Site that will not adversely affect its heritage significance. Therefore, the followings can be used as one of the bases to plan for the future repair, restoration and adaptive reuse for the Site.

The following sections are structured by referring to Burra Charter Guideline – Conservation policy. Under each section in this chapter, relevant articles from international charters are first listed out to set the guiding principles, followed by corresponding policies and guidelines specific to the Site.

7.2 Use

Guiding Principle

- Burra Charter Article 7.2 - A place should have a compatible use.

Policy 1 (for Block 58)

Since the usage of Block 58 as a military barrack building cannot be continued, the new use should be compatible to its original use/ its current context.

Guideline 1.1

It is the best to keep the building as domestic use or to use as leisure/ cultural related use in view of the neighbouring context.

Policy 2 (for Block 58)

The allowable structural loading of the existing historic building should be taken account when choosing the new use.

Guideline 2.1

Based on the initial findings, it is estimated that the existing G/F and 1/F floor structure can support live load of 5kPa and 4kPa respectively, which is robust enough to support quite a lot of usage still fulfilling current statutory requirement, including workshops, classrooms, activity rooms, etc. However, if new uses of 5kPa live load

requirement are to be introduced, they should be assigned to G/F (subject to the finding of the final structural appraisal report).

Guideline 2.2

When considering structural strengthening options, additional dead load created by strengthening elements should be minimised as far as possible, so as not to add loading to existing footing and trigger further strengthening works necessary for footings.

7.3 Setting

Guiding Principle

- Burra Charter Article 8 - Conservation requires the retention of an appropriate visual and sensory setting as well as the retention of spiritual and other relationships that contribute to the cultural significance of the place. New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Policy 3 (for Block 58)

The setting of Block 58 as a building sits at the south end of Kowloon Park/ the Former Whitfield Barracks, which is built on a plateau overlooking Hoiphong Road, should be retained.

Guideline 3.1

Trees (except OVTs) on the slope between Block 58 and the south boundary wall of the Former Whitfield Barracks that block the mentioned view should be pruned or transplanted if possible.

Policy 4 (for Block 58 and other heritage items in the Site)

The low-rise nature (2 storey) of Block 58 and other old barrack buildings in Kowloon Park as well as rich greenery environment of Kowloon Park should be retained.

Guideline 4.1

Any new ancillary building required to support the new function of Block 58 should be lower than Block 58 and of compatible massing.

Guideline 4.2

Blockage of views to Block 58 and between Block 58 and other barracks should be minimized as far as possible.

Guideline 4.3

Any new ancillary building required should avoid disturbance to trees in Kowloon Park, in particular OVTs, as far as possible.

Policy 5 (for other heritage items in the Site)

Heritage values of the entire Kowloon Park/ Former Whitfield Barracks and the identified heritage items inside it should be respected and preserved.

Guideline 5.1

Enhancement to any form of connection (in terms of physical, visual, activity and even interpretation, trail) between Block 58 and other heritage buildings/ items of Kowloon Park/ Former Whitfield Barracks is encouraged.

Guideline 5.2

Site access enhancement (such as barrier free access and loading/ unloading) is allowed but disturbance to heritage items in Kowloon Park/ Former Whitfield Barracks (e.g. the original granite boundary walls) should be avoided. Alterations/ additions should be planned at location where the boundary walls have been disturbed as far as possible.

7.4 Interpretation

Guiding Principle

- Burra Charter Article 25 Interpretation – The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

Policy 6 (for Block 58)

Public accessible areas should be reserved for interpretation in Block 58 to explain and promote to the general public the cultural significance of the building and the Site where it is located.

Guideline 6.1

Possible topics for interpretation are listed below:

- The historic and contextual values of Block 58 and the Former Whitfield Barracks,
- The architectural values of Block 58 (and Block S61, S62 and S4) as one of Classical barrack buildings in Hong Kong, and
- The conservation/ adaptive reuse process.

Guideline 6.2

Subject to the decided new use and therefore operational needs, some areas in Block 58 should be reserved for interpretation that allows public accessibility. These areas include:

- Veranda
- Future reception area

Having said the above, spaces can be designed for dual purpose (but not solely for interpretation) to flexibly suit operation needs.

Policy 7 (for other heritage items in the Site)

Heritage interpretation facilities should be added within the entire Kowloon Park, apart from Block 58, when opportunities arise in future, such as future park renovation/upgrading works, in view of the cultural significance of the entire Site and the current lack of such facilities in the Site.

Guideline 7.1

Heritage trails formed by a series of checkpoints within Kowloon Park to explain heritage fabrics identified in the Site should be explored.

Guideline 7.2

The series checkpoints can be identified heritages (barrack buildings, granite walls, and even air-raid tunnel portals during Whitfield Barracks period), old trees or even landscape added during Kowloon Park development from the 1960s-80s, in order to explain history of both Whitfield Barracks and Kowloon Park times of the Site.

Guideline 7.3

Checkpoints can be designed as part of landscape enhancement, such as simple signage, paving, low parapets, lighting/ projection, with the aid of QR code.

Guideline 7.4

Having said the above, LCSD, who is the park manager, should be consulted, to check the feasibility of implementation of the above.

7.5 Control of Intervention in Fabric 1 – Repair and Restoration of Physical Fabrics

Guiding Principle

- Principles for the Conservation of Heritage Sites in China Article 27 – Minor restoration most frequently involves rectifying components that are deformed, displaced or collapsed, repairing damaged elements, and removing additions that have been assessed as inappropriate. Detailed documentation records should be kept of elements that are removed or added and those that have been added should be distinguishable from original fabric.
- Principles for the Conservation of Heritage Sites in China Article 27 – Major restoration is an intervention involving the most impact to original fabric. It includes returning a structure to a stable condition and also repair or replacement of damaged and key missing components. The decision to repair traditional wooden architecture through complete disassembly and reassembly should be taken with caution. All problems revealed in the course of disassembly and reassembly should be rectified. Restoration should, as far as possible, preserve the structures, components, and vestiges and traces of periods judged to have value. There needs to be ample evidence to justify restoration.

Policy 8 (for Block 58 and other heritage items in the Site)

In general, character-defining elements should be preserved, repaired or restored as much as possible in any future adaptive reuse for the Site.

Guideline 8.1

Chapter 5 should be referred for the list of character-defining elements.

Guideline 8.2

Like for like repair approach should be adopted. Original building materials and techniques should be reused and followed as far as practicable. However, replacement should be sought if original fabric is beyond repair. Preserving the building integrity in a whole should be more important than parts. Maintenance and then minor restoration is more preferable than major restoration.

Guideline 8.3

Restoration of disturbed fabrics and that of lost fabrics by replicas should only be carried out if they are character-defining elements of very high and high significance

and the restoration can be supported by enough evidence (e.g. physical remains of fabrics, record photos and detail drawings) to ensure authenticity.

The fabrics suggested to be restored include:

- The enclosed veranda, to be reopened
- The lost cast iron railing and posts, by replicas
- A fireplace in the middle portion on G/F for interpretation purpose, by replicas
- Timber windows and doors, by replicas

However, the restoration of the original pitched roof of the veranda, which has long been replaced by concrete flat roof since Whitfield Barracks period, is NOT recommended, in view of the age of the flat roof and the lack of information of the original pitched roof structure system.

Restoration of granite boundary walls of the Former Whitfield Barracks is NOT necessary as well, due to the functional needs of the additions/ alterations.

Policy 9 (for Block 58 and other heritage items in the Site)

Intrusive later alterations should be removed to restore the hidden/ disturbed character-defining elements as far as possible.

Guideline 9.1

Suggested removal of intrusive fabrics includes:

- The chain-link fence surrounding Block 58 facing Kowloon Park
- The chain-link fence on the south boundary wall of the Former Whitfield Barracks to be upgraded to a compatible appearance
- Concrete tanks outside Block 58
- Ramps in front of front and back facades of Block 58 and their metal balustrades, roofs, supporting structures and pulley systems
- MVAC and its metal decks/ supports in front of the front façade of Block 58
- Building services installation and pipeworks on roof and facades of Block 58
- Metal roofs and their support of two of the external staircases of Block 58
- Later added door/ window openings in Block 58
- Later added window/ louvre openings at side facades of Block 58
- All false ceiling panel and grilles inside Block 58
- All enclosing walls to verandahs of Block 58
- The hoist beam and shutter on the front façade of Block 58

Guideline 9.2

Some later additions are considered as no value. Since they have also disturbed elements with significance, removal of them can enhance the cultural significance of the building so should be considered if technically feasible and suitable for the proposed new use.

- All vinyl flooring inside Block 58
- The concrete roof and its support of one of the external staircases of Block 58
- Parapet walls and metal railings on top of two of the external staircases of Block 58

7.6 Control of Intervention in Fabric 2 - Interventions to Physical Fabrics

Guiding Principle

- Burra Charter Article 15.1 Change – Change may be necessary to retain cultural

significance, but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation.

- Burra Charter Article 27.1 Managing Change –The impact of proposed changes on the cultural significance of a place should be analyzed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes following analysis to better retain cultural significance.
- Burra Charter Article 27.2 Managing Change – Existing fabric, use, associations and meanings should be adequately recorded before any changes are made to the place.

Policy 10 (for Block 58 and other heritage items in the Site)

In general, alterations and additions to Block 58 and the Site to suit new use and safety enhancement is acceptable, in order to keep the building in appropriate use. However, they should be well planned with minimum intervention approach, so as to minimize impact to the cultural significance of the building. Character-defining elements of lower significance and of less authenticity can allow more alterations to suit adaptive reuse.

Guideline 10.1

Chapter 5 should be referred for the list of character-defining elements.

Guideline 10.2

In view of the free-standing setting of Block 58, alteration and addition to all facades of Block 58 should be avoided as far as possible. Also due to the limited available interior space within Block 58, any additional services/ facilities should be located in an annex block detached from Block 58 as far as possible.

Guideline 10.3

The design of any alteration and addition works should follow the following principles:

- Reversible alterations/ additions,
- Compatible with but distinguishable from the original fabrics,
- For any new annex, massing compatible with and height lower than Block 58 and other barrack building within the Site,
- Minimum physical and visual impact on Block 58 as well as other heritage items in the Site, as well as visual impact on the vistas from Block 58 to other heritage items in the Site and Hoiphong Road,
- Minimum disturbance to the existing trees, in particular the OVTs.

Policy 11 (for Block 58 and other heritage items in the Site)

Building services should be well planned to avoid visual impact on Block 58 and the Site.

Guideline 11.1

Introduction of new building services is unavoidable for adaptive reuse and upgrade of Block 58 to suit modern day requirements. To minimise visual impact by newly introduced conduits, pipes, ducts, air-conditioners, water tanks, transformer rooms, switch rooms, etc, they should be properly placed, preferably on faces/ in spaces of less significance, or even in an annex building that avoids views to the heritage buildings as far as possible.

7.7 Management

Guiding Principle

- Burra Charter Article 16 Maintenance – Maintenance is fundamental to conservation and should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.
- Burra Charter Article 29 Responsibility for Decisions – The organizations and individuals responsible for management decisions should be named and specific responsibility taken for each such decision.
- Burra Charter Article 30 Direction, Supervision and Implementation – Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.
- Principles for the Conservation of Heritage Sites in China Article 25 - Maintenance and monitoring is fundamental to the conservation of heritage sites. Maintenance is the timely removal of potential problems that could cause damage or deterioration and also ensures it is kept clean and orderly. A maintenance program should be established and implemented at every heritage site.

Policy 12 (for Block 58 and other heritage items in the Site)

It is necessary for the property management and operation teams of the adaptive reused Block 58 and even those of Kowloon Park to understand the cultural significance of Block 58 and the Site and have certain knowledge on how to conserve it.

Guideline 12.1

It is essential for the property management and future operation teams to read this conservation management plan and to execute the repair, restoration, adaptive reuse and interpretation of Block 58 and the Site following the guidance of this conservation management plan.

Policy 13 (for Block 58 and other heritage items in the Site)

A Maintenance Plan and a Maintenance and Operational Manual should be drawn up, to ensure that the building is kept in good condition and properly used during operation. This should include a detailed plan for the regular upkeep of the built fabric.

Guideline 13.1

A Maintenance Plan should include a maintenance schedule with detailed description of the tasks that should be carried out at specifies intervals such as on a weekly, monthly, quarterly, yearly or five yearly basis. This ranges from the minor routine tasks of inspection and maintenance of the building fabrics (in particular the CDEs listed in Section 5.2, such as checking the taps and overflows for leaks, which should be done at least weekly) to major tasks to be completed every five years such as a full test of the electrical system. A good maintenance plan will make it clear who in the building management team is responsible for which item and it will have a system for recording that the tasks have been carried out.

Guideline 13.2

The Maintenance and Operational Manual should give guidance to all staff/ workers on how to approach the use, repair and maintenance of Block 58 and specific features of the Site. This might include guidance on the appropriate materials for the maintenance of historic fabrics such as timber and brick. It should also list out what should be done or should not be done to the historic building during the daily operation in order to prevent wrong use or even damage to the historic fabric.

Guideline 13.3

The Maintenance Plan and Maintenance and Operational Manual should be made ready before the operation of the new use and should be reviewed by authors and users as necessary.

7.8 Documentation

Guiding Principle

- Burra Charter Article 31 Documenting Evidence and Decisions – A log of new evidence and additional decisions should be kept.
- Burra Charter Article 32.1 Records – The records associated with the conservation of a place should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.
- Burra Charter Article 32.2 Records – Records about the history of a place should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

Policy 14 (for Block 58 and other heritage items in the Site)

A documentation mechanism should be set up.

Guideline 14.1

This Conservation Management Plan, any previous studies, researches, investigation findings, mock up result, etc. should be kept in proper filing (hardcopy, electronic copy or both) within the property management and operation team, so that any decision for repair can be made reference to.

Guideline 14.2

Prior to any works for adaptive reuse, a full photographic and cartographic survey should be completed to record the existing historic fabric of the building prior to any changes taking place. Photographs should be related to a layout plan.

Guideline 14.3

Even after the adaptive reuse, any future repair works during operation of the new use should be properly documented, by photos, drawings, written format and / or 3D scanning (hardcopy, electronic copy or both).

Guideline 14.4

Records should be kept the operators and building owners, in an archive or other appropriate means and media.

7.9 Adoption and Review

Guiding Principle

- Burra Charter Article 26.4 - Statements of cultural significance and policy for the place should be periodically reviewed, and actions and their consequences monitored to ensure continuing appropriateness and effectiveness.

Policy 15 (for Block 58 and other heritage items in the Site)

Further research is recommended on the areas stated in Section 1.5 of Chapter 1 Gaps in Knowledge, if time and resources permit.

Guideline 15.1

There are areas that have not been covered by this report but may contribute to better understanding of the history and significance of the Site. Refer to Section 1.5 of Chapter 1 for details. If time and resource allow, further search should be carried out to supplement the content of this report.

Policy 16 (for Block 58 and other heritage items in the Site)

This CMP should be reviewed from time to time.

Guideline 16.1

It is the best practice to review a CMP, say in a 5-year interval, so as to update conservation policies corresponding to any change in building status, use and management.

PART 2 HERITAGE IMPACT ASSESSMENT

8

INTRODUCTION

8.1 Objective of HIA

Under the Development Bureau (DevB) Technical Circular (Works) No.1/2022, for any capital works projects involved with or affecting a heritage site, such as declared monuments, proposed monuments, sites and buildings graded by AAB, recorded sites of archaeological interest and Government historic sites identified by AMO within or in the vicinity of the project boundary, a HIA should be carried out.

In response to the above two requirements, the primary objectives of this HIA are:

- To identify possible impacts to the Site and the cultural significance 50m around the Site (if any) due to the proposed revitalisation
- To propose mitigation measures to alleviate adverse impacts to significant fabric
- To provide recommendation on the future implementation of the proposed mitigation measures

8.2 Methodology

Reference has been made to the following documents in formulating the methodology of carrying out this HIA study:

- DevB Technical Circular (Works) No.1/2022, Heritage Impact Assessment Mechanism for Capital works Projects, DevB, 2022
- Guidelines for Built Heritage Impact Assessment (BHIA), AMO, 2008

According to the DevB Technical Circular (Works) No.1/2022, a HIA shall contain a baseline study, methodology, impact assessment and mitigation measures. For baseline study, Part 1 CMP of this report should be referred. The following chapters account for the impact assessment and mitigation measures.

8.3 The Proposed Works

The Project is to adaptively reuse and convert the Former Whitfield Barracks Block 58 in the Kowloon Park into an Activity Centre for the Promotion of Chinese History and Culture (the Activity Centre hereafter). Apart from the adaptive reuse of the existing historic building, a new annex building will be added next to it to accommodate services for the Activity Centre and the surrounding open space will be upgraded to enhance connection with the existing Hong Kong Heritage Discovery Centre (HDC) and the Kowloon Park.

The proposed scope of the Project includes the following:

- i) Adaptive reuse of the Existing Block 58 of the Former Whitfield Barracks:
 - Provision of multi-purpose rooms, a classroom, study rooms and store rooms for education purpose;
 - Additional staircase, void and reception connecting G/F and 1/F for a more spatially pleasing welcoming entrance hall connect G/F and 1/F;
 - Conservation treatment and necessary upgrading works for statutory compliance to ensure safety of the adaptively reused Block 58;
- ii) Adding a New Annex Building with Open Corridor:
 - Provision of ancillary services such as Professional Training Room, Exhibition Store, Gallery, Toilet, Baby Care room, Artifacts Room and Office etc.;
 - Provision of building services such as fire services water tanks, transformer, etc;
 - Provision of open corridor as connection to Block 58 and the loading/unloading bay;
- iii) Introducing Emergency Vehicular Access (EVA), Loading/ Unloading Bay and Open Space:
 - Provision of a continuous EVA;
 - Provision of loading/ unloading bay adjacent to the New Annex Building;
 - Provision of landscaped area with benches, rain shelters and flowering trees;
- iv) Connection to Hong Kong Heritage Discovery Centre (HDC):
 - Provision of a continuous landscaped walkway for connecting the New Annex Building and HDC.
- v) Enhancing the existing landscape in Kowloon Park in Site 2 & Site 3

8.4 Two Types of Impact

Based on the Project Site Area and HIA Study Area as shown in Figure 1-1 and the list of proposed works above, two levels of impact are identified:

- The potential impacts induced by the works to be carried out near the identified heritage items/ features, namely Block S61, S62 and the west and south boundary walls of the Former Whitfield Barracks;
- The potential impacts induced by the works to be carried within the identified heritage item, i.e. Block 58.

They are discussed in the next chapter separately.

9

IMPACT ASSESSMENT AND MITIGATION MEASURES

9.1 Definition

The level of impact on elements being assessed, after considering the level of significance of affected elements and the corresponding mitigation measures, is classified into five levels as follows⁸²:

Level of Impact	Meaning
Beneficial Impact	The impact is beneficial if the proposal will enhance the preservation of the heritage site
Acceptable Impact	The assessment indicates that there will be no significant effects on the heritage site.
Acceptable Impact with Mitigation Measures	There will be some adverse effects, but these can be eliminated, reduced or offset to a larger extent by specific measures
Unacceptable Impact	The adverse effects are considered to be too excessive and are unable to mitigate practically
Undetermined Impact	The significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question

Table 9-1 Definition of impact level

⁸² Antiquities and Monuments Office. Guidelines for Built Heritage Impact Assessment. June, 2010

9.2 Impact Assessment and Mitigation Measures on Identified Heritage Items/ Features of Kowloon Park near the Proposed Works

9.2.1 Impact Assessment

Item No.	Assessment Item / Proposed new works	Affected heritage items/ features in Kowloon Park	Reason for Changes	Suggested Mitigation / Recommendation	Overall Impact level
1.	Erecting a new annex block next to Block 58 as an ancillary block	<ul style="list-style-type: none"> Block S61 Block S62 	<ul style="list-style-type: none"> Fire code compliance Building Ordinance compliance Operational needs 	See B-2 in section 9.3.2	Acceptable impact with mitigation measure
2.	Erect a new pathway to connect Block 58, the new annex and Block S61 (Heritage Discovery Centre)	<ul style="list-style-type: none"> Block S61 	<ul style="list-style-type: none"> Landscape enhancement Enhancement of connection between heritage buildings in Kowloon Park 	See B-3 in section 9.3.2	Beneficial
3.	Enhancing landscape in Site 2 and 3	N/A	Enhancing experience in Kowloon Park	N/A	Beneficial

9.3 Impact Assessment and Mitigation Measures on Block 58

9.3.1 Consideration on Major Alterations

Some major alterations for the proposed adaptive reuse are discussed below to explain the consideration and option studies behind before the current proposed design scheme can be concluded. Their mitigation measures will be further discussed in section 9.3.2.

1) Erecting a new annex block next to Block 58

Deficiency/ Reason for intervention:

- Accommodating new fire services and sprinkler tanks, code compliance escape staircase, disabled lift, transformer room, plant room, toilet and artefact rooms

Necessary intervention:

- Adding a new building block to Block 58 and the connection path between the two blocks

Option study:

- Option 1A & 1B, On-grade Structure (not adopted): Adding the new annex to the north of Block 58, which is the available open space nearby Block 58, with all floor area built on ground
 - o CONS 1: It blocks view out from Block 58 to landscape and Block S61 to its north (and vice versa), though view from the main path of Kowloon Park to the north façade of Block 58 is kept largely;
 - o CONS 2: Outdoor landscape area of Kowloon Park is largely reduced;
 - o PROS 1: For option 1B, visual connection between Block 58 & Block S61 is maintained by a slot view.

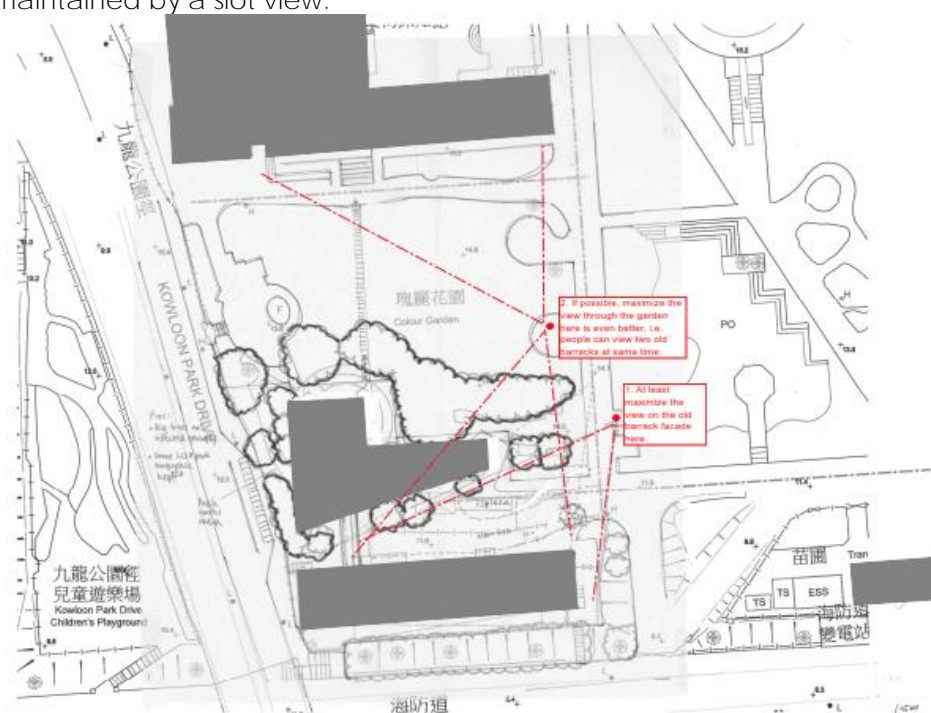


Figure 9-1 Option 1A, On-grade Option

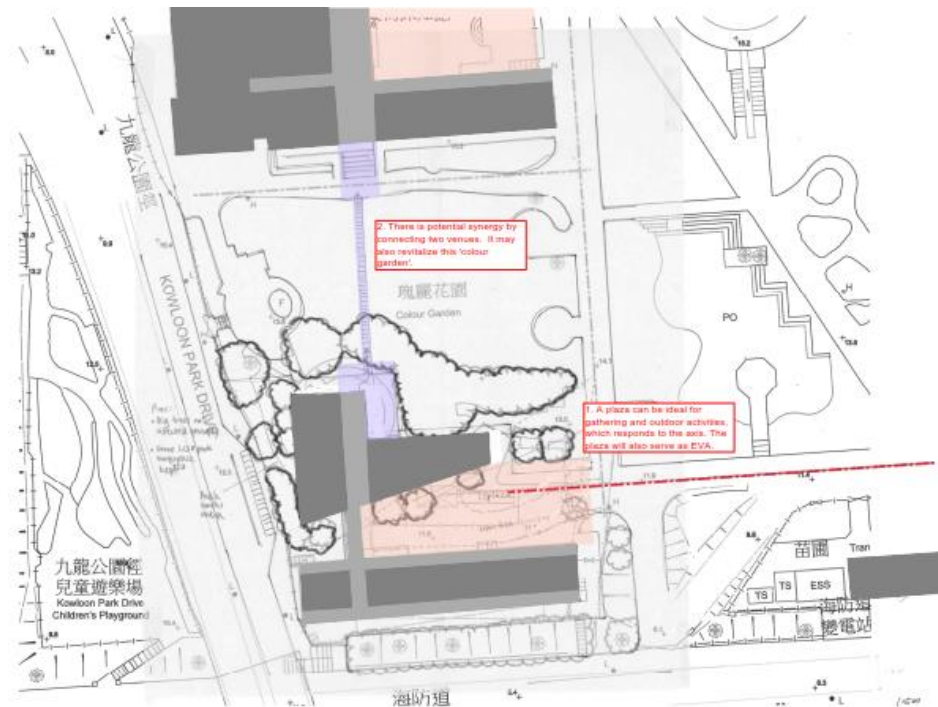


Figure 9-2 Option 1B, On-grade Option

- Option 2, Half Underground Structure (adopted): Adding the new annex to the northwest of Block 58, with FS and sprinkler tanks and pump rooms accommodated in underground
 - o PROS 1: The openness to the north of Block 58 can be largely kept and a new open plaza for outdoor event can be introduced
 - o PROS 2: Visual connection between Block 58 & Block S61 is maintained.

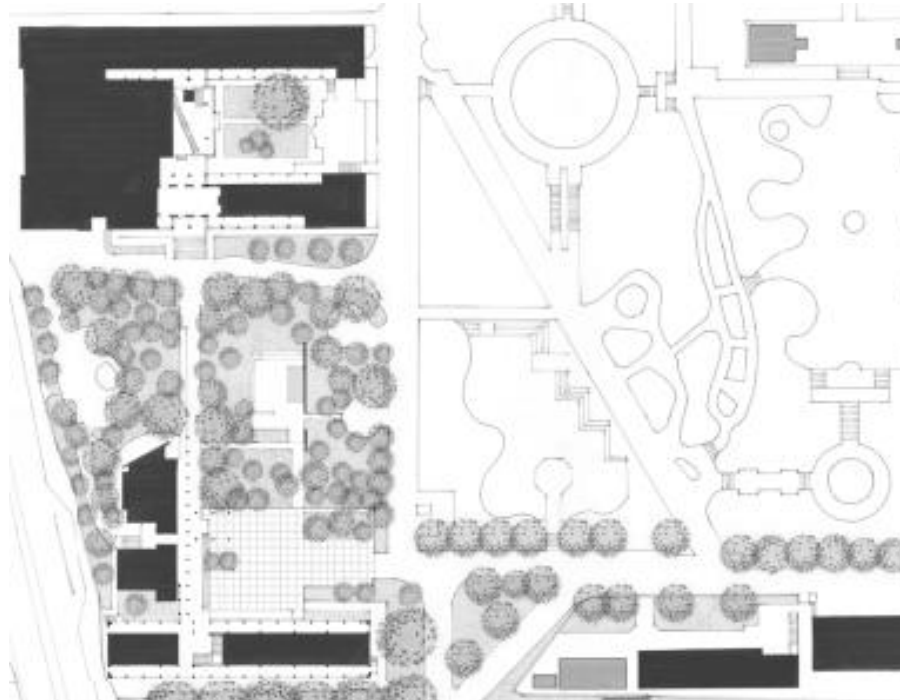


Figure 9-3 Option 2, Half Underground Option

2) Introducing a new staircase and a double height reception space within Block 58

Deficiency/ Reason for intervention:

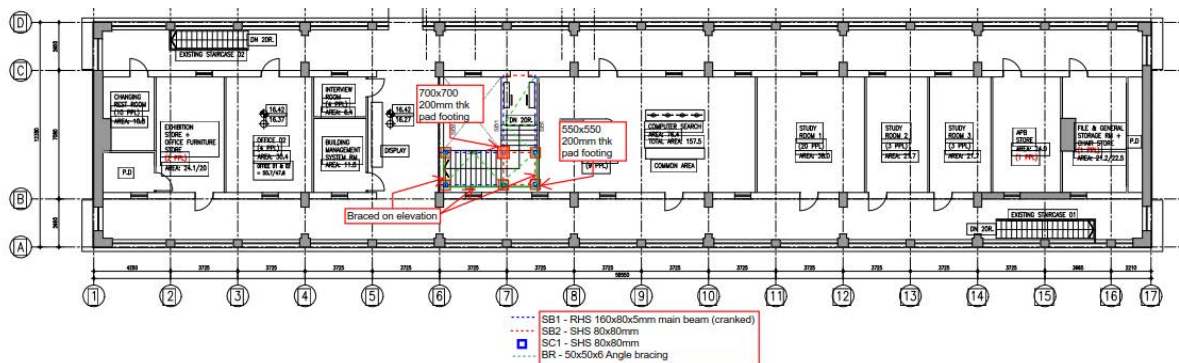
- Spatial enhancement for housing a new welcoming reception space
- Facilitating circulation of visitors

Necessary intervention:

- Removing 2 bays of timber floor joists and flooring of 1/F slab;
- Adding a new steel staircase

Option study:

- Option 1 Steel Post (not adopted): Forming the new staircase by a new steel structure independent from the existing building, with a new footing
 - o PROS 1: It can be a reversible structural addition independent from the main structure;
 - o PROS 2: It is a separate structure with load path down to new footing to ground;
 - o CONS 1: It creates more visual impact than option 2;
 - o CONS 2: Larger portion of the existing timber floor is required to be temporarily remove (Grid 5-8) to provide working space at G/F;
 - o CONS 3: More long construction time due to excavation, footing, blinding, more welding, large portion of timber floor removal and reinstatement;
 - o CONS 4: In addition to the footing construction, a shallow excavation (removal of the existing blinding layer at basement to expose the founding layer) and a new blinding layer is required at the basement level. New footing needs to design according to new foundation standard and code;
 - o CONS 5: There will be more openings on the timber floor for the steel posts;
 - o CONS 6: The ground condition has yet been investigated, adding technical uncertainty to this option.



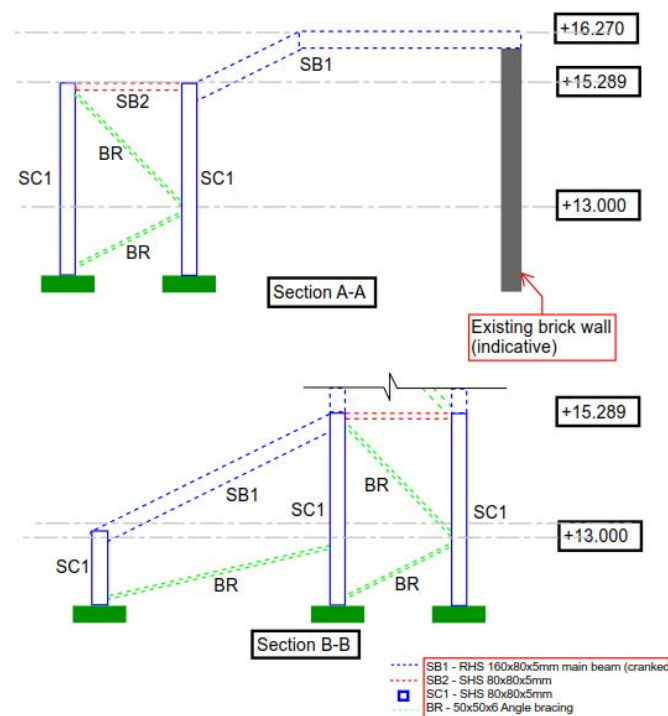
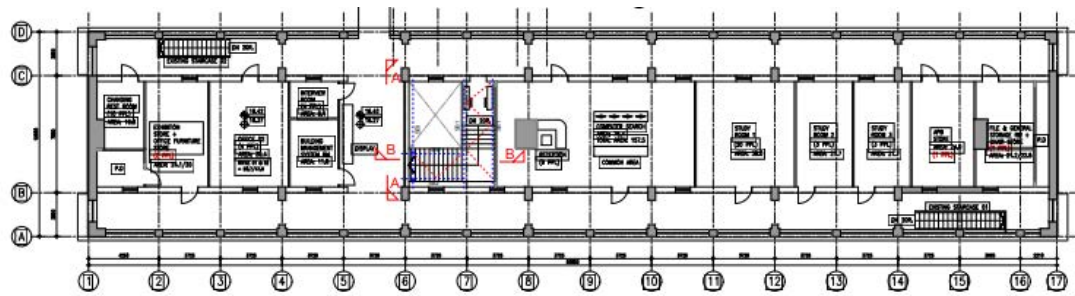


Figure 9-4 Option 1 Steel Post Option (Plan and section)

- Option 2 Steel Beam on Brick Wall (adopted): Using the existing brick walls of Block 58 to support the new staircase
 - o PROS 1: It creates less visual impact than option 1;
 - o PROS 2: It is a much simpler structure, easier and faster to construct;
 - o PROS 3: Load path of the existing structure of Block 58 remains unchanged. The new steel beams will be inserted into the existing brick walls at the existing recess for receiving timber joists;
 - o PROS 4: There will be no additional loading on the existing brick walls with a portion of 1/F timber floor is removed;
 - o PROS 5: No vertical bracing is required, but only bracing between stairs is required, meaning more flexible space under the new staircase;
 - o CONS 1: It is less reversible than option 1 as it creates some disturbance to the brick walls

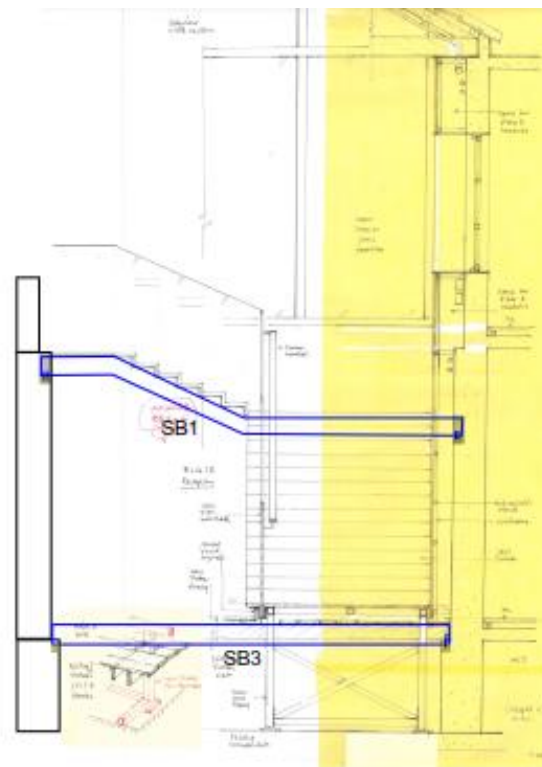
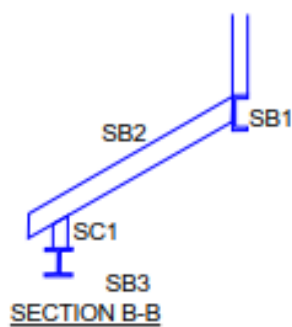


SB1 - 305x89 Channel
 SB2 - 203x76 Channel
 SB3 - 203x203x46 UC
 SC1 - 203x76 Channel
 BR - 50x50x4 Angle bracing

A local opening on bricks wall to be refilled with grout. SB1 with concrete pad support on bricks.



TYPICAL CONCRETE PAD
 STONE DETAIL ON BRICK WALL



ELEVATION A-A

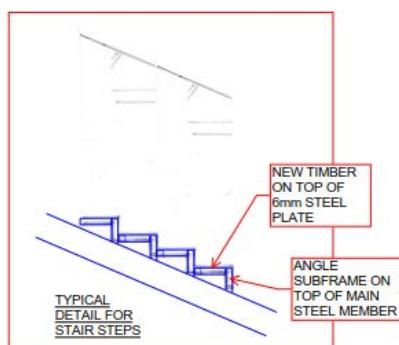


Figure 9-5 Option 2 Steel Beam on Brick Wall Option (Plan, section & details)

3) Introducing FRR material to timber floor system

Deficiency/ Reason for intervention:

- The existing timber floor board and joist of G/F and 1/F flooring system cannot fulfill the current fire safety code requirement for fire resisting construction for structural floor

Necessary intervention:

- Covering up timber floor system partially by FRR materials

Option study:

- Option 1 Covering Up Floor Board Soffit Only (Adopted, subject to structural appraisal)
 - o PROS 1: Timber joist can be seen on ceiling of LG/F and G/F;
 - o PROS 2: Floor board can be seen on G/F and 1/F floor (subject to condition survey after removal of the later added vinyl flooring, it may need to be covered up by new timber board)

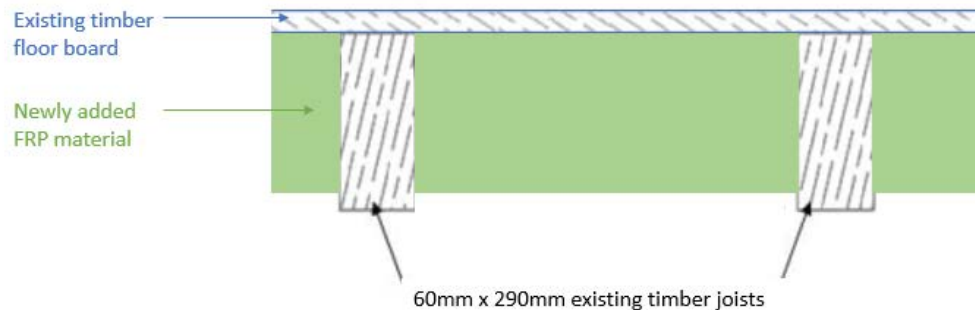


Figure 9-6 Option 1 Covering up floor board soffit only

- Option 2 Covering Up the Entire Soffit of Timber Floor System (Not preferred, adopted only if Option 1 is found infeasible by structural appraisal)
 - o CONS 1: Original timber floor system cannot be seen on ceiling of LG/F and G/F;
 - o PROS 1: Original timber floor system are preserved;
 - o PROS 2: Floor board can be seen on G/F and 1/F floor (subject to condition survey after removal of the later added vinyl flooring, it may need to be covered up by new timber board)

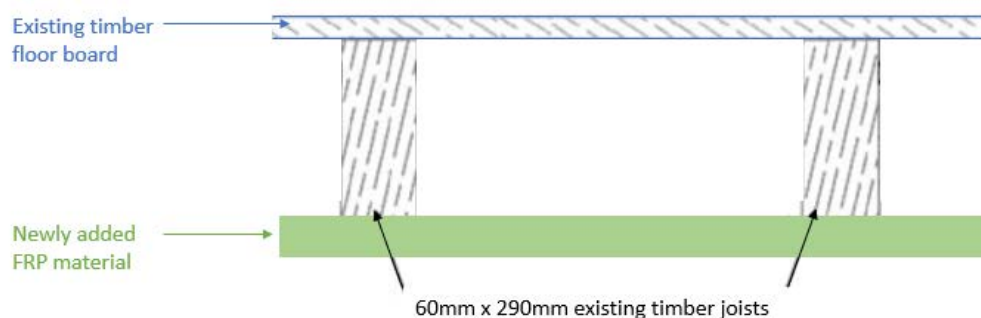


Figure 9-7 Option 1 Covering up the entire soffit of timber floor system

4) *Considering imposed load of the proposed new use and loading capacity of the existing building*

Limitation:

- The loading capacity of G/F floor structure and 1/F filler joist floor is assessed to be 5kPa, while that of 1/F timber joist is assessed to be 4kPa.

Necessary intervention:

- No structural strengthening/ intervention is necessary. Since the proposed floor usage is mainly 3kPa for class room and 4 to 5kPa for storeroom, in general, there will be no increase in floor-imposed load at G/F and 1/F, and the existing floor structure of Block 58 can resist the loading of the proposed new use without any alteration/addition works. So, no structural strengthening/ intervention is necessary.

5) *Using the existing two internal staircases as MOE staircases*

Deficiency:

- The two staircases do not comply prescriptive fire code requirement for MOE staircases as mentioned in section 6.2.

Necessary intervention:

- Fire engineering approach has been adopted, so that the two staircases can be preserved and intervention can be minimized.
- [Subject to the approval of the final Fire Engineering Report](#), measures/ necessary upgrade to support the fire engineering approach include:
 - o A new Staircase (1.3m W) at the New Annex Building would serve as a code-compliant staircase to facilitate the occupant evacuation for Block 58
 - o The total population for Block 58 and the New Annex is limited to not more than 300p
 - o To install fast response sprinklers
 - o To install fire detectors
 - o All room doors and windows would be [protected by sprinklers on both sides](#) at the following locations:
 1. within 6m distance from the existing staircases. FRP fixed lights shall be provided behind the existing timber windows
 2. along the verandahs with exceeded travel distance as per Clause C7.5 of FS Code.
 - o Self-closing doors to be provided to all functional rooms of Block 58 and the New Annex Building
 - o 450mm depth smoke barrier at high level of existing staircase exits on G/F
 - o Automatic smoke curtain dropped to 2m AFFL between the Reception and Main Foyer
 - o CCTV system shall be installed to provide 24-hours surveillance on the fire safety condition of the MOE routes and staircases from a remote location
 - o Adequate warning signs are posted at the entrance to the staircase to alert occupants the geometry of the staircase

9.3.2 *Impact Assessment*

Block 58 will be undergoing adaptive reuse and there are considerable alternation works to be carried out on the building fabrics, contributing a certain level of heritage impact. The table below lists out the detail proposed works with their potential impacts and recommended with mitigation measures.

A. Building Usage

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
A-1	Conversion of Block 58, Whitfield Barracks to Activity Centre for the Promotion Of Chinese History And Culture	Block 58	Very high	<ul style="list-style-type: none"> Adaptive reuse of Block 58 Heritage interpretation enhancement 	<ul style="list-style-type: none"> Allowing public access to the heritage by changing the building from a museum storage to an activity centre Adding heritage interpretation inside the building to introduce history of Whitfield Barracks and Kowloon Park, which is currently not available inside Kowloon Park Photographic and cartographic survey for Block 58 will be carried out and submitted to AMO before commencement of alteration and addition works necessary for the proposed adaptive reuse 	Beneficial impact

B. Site Setting and Open Space

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
Site Setting						
B-1	Introducing an open space to the north of Block 58 to provide for EVA, loading & unloading bay and with general landscape enhancement	Connection between barrack buildings in Whitfield Barracks	Very high	<ul style="list-style-type: none"> Landscape enhancement Fire codes compliance Operational needs 	<ul style="list-style-type: none"> Designing the landscape enhancement in a manner to enable outdoor events and enhance visual and physical connection to Block S61, and so better integration of Block 58 into Kowloon Park 	Beneficial impact
		View to Block S61 from Block 58	High			
		North (front) façade	Very high			
B-2	Erecting a new annex block accommodating new fire services and sprinkler tanks, code compliance escape staircase, transformer room, plant room, toilet and artefact rooms	View to Block S61 North (front) façade	High Very high	<ul style="list-style-type: none"> Fire codes compliance Building codes compliance Operational needs 	<ul style="list-style-type: none"> Locating the annex block to the west end of Kowloon Park as far as possible to reduce extent of view blockage to both Block S61 and north façade of Block 58 Reducing the tank size (and thus the building size by improvised sprinkler system) Breaking the building mass of the annex so as to make its size compatible to Block 58 (i.e. and not higher than Block 58, and using contemporary architectural language to distinguish from Block 58 Making roof of the New Annex Block not accessible by public to avoid the necessary introduction of 1100mmH protective barrier and thus reducing height of the building 	Acceptable impact with mitigation measure

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
					<ul style="list-style-type: none"> • Avoiding disturbance to the existing trees between Block 58 and S61 • Geotechnical assessment carried out has ensured that the construction works will not affect the geotechnical features/ slopes in the vicinity • Designing the new annex to sit on footing with a basement located away from Block 58 and S61 and of limited size and depth (around 11.5m away from the Block 58 and over 40m away from Block S61, around 5m deep), thus, limiting ELS construction method to open up excavation and avoiding piling works. In this connection, it is predicted that settlement of Block 58 and S61 will be limited to 10mm only and vibration is not anticipated. • Monitoring checkpoint with limit level will be installed to Block 58, Block S61, S62 and West and South Boundary Walls of the Former Whitfield Barracks to monitor any structural impact from the works. A monitoring proposal including checkpoint location, installation detail, and the 	

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
					<p>Alert/ Alarm/ Action levels and frequency of monitoring will be further submitted to AMO for agreement upon detail design.</p> <ul style="list-style-type: none"> • Photo record of checkpoint installation and monitoring records will be submitted to AMO on regular basis and AMO will be alerted should any of the 3A levels is reached. • Pre- and post- work condition surveys will be carried out for Blocks 58, S61 and S62 and submitted to AMO. 	
B-3	Erect a new pathway to connect Block 58, the new annex and Block S61 (Heritage Discovery Centre) and enhance landscape design at the outdoor park space in between the three buildings	<p>Connection between barrack buildings in Whitfield Barracks</p> <p>View to Block S61 from Block 58</p> <p>North (front) façade</p>	<p>Very high</p> <p>High</p> <p>Very high</p>	<ul style="list-style-type: none"> • Landscape enhancement • Enhancement of connection between heritage buildings in Kowloon Park 	<ul style="list-style-type: none"> • Designing the connection pathway as a part of the outdoor landscape elements • Visual connection between Block 58 and S61 should be enhanced as far as possible 	Beneficial impact
B-4	Removing the metal gates or fences to the north and east of Block 58	Metal gates or fences attaching/ next to Block 58	Intrusive	<ul style="list-style-type: none"> • Heritage conservation • Appearance enhancement 	<ul style="list-style-type: none"> • Recording by photographic and cartographic survey before works 	Beneficial impact
B-5	Removing concrete tanks at northeast and south open spaces	Concrete tanks at northeast and south open spaces	Intrusive	<ul style="list-style-type: none"> • Heritage conservation 	<ul style="list-style-type: none"> • Recording by photographic and cartographic survey before works 	Beneficial impact
B-6	Preserving the OVTs along Whitfield Barracks south boundary wall and	<p>Plateau setting</p> <p>View to Hoiphong Road</p>	<p>High</p> <p>High</p>	<ul style="list-style-type: none"> • Heritage conservation 	<ul style="list-style-type: none"> • Carrying out tree surveys to iron out transplanting proposal 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
	the slope area, but transplanting the less important ones that blocks the view of Block 58 from Hoiphong Road			<ul style="list-style-type: none"> Appearance enhancement 		

C. Block 58 Exterior

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
Façade						
C-1	Reopening the blocked openings of verandahs	All facades: -Entablatures -Verandahs with rectangular openings on 1/F	Very high/ high Very high	<ul style="list-style-type: none"> Heritage interpretation Spatial enhancement Appearance enhancement 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
C-2	Restoring the lost cast iron balustrade (railings and posts) at the verandahs (except the openings that are used as the entrance of the building) and repairing the original one that still remains on G/F east façade	-Plain columns on 1/F -Moulded string course at 1/F slab level -Verandahs with arch openings on G/F -Plain string course at G/F slab level -Segmental arch openings on LG/F	Very high Very high Very high Very high Very high	<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Using the original one that still remains on G/F east façade and old photos for reference for restoration 	Beneficial impact
C-3	Installing 1100mm high new glass balustrades behind the railing	-Cast iron railing at verandah opening on G/F on east facade - gable wall with moulded cornice -The painted number "58" -The painted, protruded, ring letter" A"	Very high Very high Very high	<ul style="list-style-type: none"> Building codes compliance 	<ul style="list-style-type: none"> Subject to structural investigation on the grading of existing concrete slab and thus its ability to take up the dead and live load induced by the new balustrades. If the result of the investigation is unsatisfactory, the new glass balustrade should be supported by new structural members and spanned between existing column/ wall 	Acceptable impact with mitigation measure
C-4	Repairing defective rendering for all plastered external wall and			<ul style="list-style-type: none"> Heritage conservation Building repair 	<ul style="list-style-type: none"> Carrying out condition survey (by hammer tapping) to check extent of defective rendering 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
	preserving the painted letters and numbers			<ul style="list-style-type: none"> Appearance enhancement 	<ul style="list-style-type: none"> Carrying out condition survey on brick by visual means after opening up of defective rendering For brick repair, seeking structural engineer's advice if structural crack is observed Recording by photographic and cartographic survey before works 	
C-5	Repairing defective bricks					
C-6	Preserving and repairing the aged metal grille and rain water outlets at LG/F skirting level	South façade: Metal grille and rain water outlets at LG/F skirting level	Medium			
C-7	Removing metal spikes at the back façade and repairing defective rendering/ bricks after removal	South (back) façade: -Metal spike	No value			
C-8	Removing the later added steel hoist beam for good delivery and shutter on 1/F north façade	North façade: -Later added steel hoist beam for good delivery and shutter	Intrusive			
C-9	Removing the existing (later added) rainwater pipes and re-planning new rain water pipe and gutter system	All façades: -Rainwater pipe	Intrusive	<ul style="list-style-type: none"> Heritage conservation Building code compliance Appearance enhancement 	<ul style="list-style-type: none"> Referring to the original locations of rainwater downpipes (shown in old photos) when planning the new ones If gutter installation is necessary for code compliance, designing it as subtle as possible and distinguishing it from the old fabrics 	Acceptable impact with mitigation measure
C-10	Removing the later added ramps and their metal railing at both the front and back façade	Ramps in front of front façade and back façade and their metal railing	Intrusive	<ul style="list-style-type: none"> Heritage conservation Appearance enhancement 	<ul style="list-style-type: none"> Repairing the rendering and bricks of the affected façade after removal 	Beneficial impact
C-11	Removing the corrugated metal shed with metal supporting structure and	Corrugated metal sheds with metal supporting structures and pulleys	Intrusive			

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
	pulleys attached to the front and back façades	attaching to the front and back façades				
C-12	Removing the metal deck and supporting structure for air conditioning unit attaching to the front façade	Metal deck and supporting structure for air conditioning unit attaching to the front façade	Intrusive			
C-13	Removing the blockage (louvre, brick or metal gate) of the segmental arch openings on LG/F, and installing new mesh or grille as new blockage material	All façades: -Segmental arch openings on LG/F	Very high	<ul style="list-style-type: none"> Appearance enhancement Operational need 	<ul style="list-style-type: none"> Repairing the rendering and bricks of the affected façade after removal New blockage materials should allow ventilation of LG/F to avoid moisture building up in bricks, but at the same time should prevent animals entering LG/F New blockage should be recessed from the façade to make it more distinguishable from the façade 	Acceptable impact with mitigation measures
C-14	Replacing the louvre at bullseye window opening with a new one	East façade: -Bullseye window opening	Very high			
C-15	Removing later added building services installation on façades, repairing the wall opening created and relocating the necessary building services plants/ tanks/ equipments in the new annex and the necessary building vertical pipeworks in pipeducts created in the building interior	West façade: -Later added building services installation, including vents and associated wall openings	Intrusive	<ul style="list-style-type: none"> Appearance enhancement Operational need Heritage conservation 	<ul style="list-style-type: none"> See B-2 for constructing the new annex See D-21 for introducing the pipeduct in building interior See C-24 for relocating the building services installation on flat roof as well 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
C-16	Preserving and repairing granite staircase flights partly inlaid with wash grano finish on surface of the three existing external staircases	External staircases in front of front façade (1), at the north west corner (2) and south east corner (3), with: -Granite staircase flights partly inlaid with wash grano finish on surface (all 3)	Very high/ high/ very high Very high	<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
C-17	Repairing the remaining cast-iron balustrades (railing and posts)/ restoring the lost ones to replace the later added rendered parapet wall of the three external staircases	-Rendered parapet wall and painted metal railing (1&3) -Corrugated metal roof with columns of the (1&3)	No value Intrusive Very high No value	<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Using the original one that still remains staircase (2) and old photos for reference for restoration 	Beneficial impact
C-18	Installing new glass balustrade at the back of the restored cast iron balustrade of the three external staircases	- Cast iron railing and posts, except the lowest post (2) -Concrete flat roof and supporting beam and columns (2)		<ul style="list-style-type: none"> Building codes compliance 	<ul style="list-style-type: none"> The new glass balustrade should be supported by new structural members and spanned between existing column/ wall Designing the balustrade installation detail so as to minimize disturbance to the granite steps 	Acceptable impact with mitigation measures
C-19	Removing concrete flat roof and supporting beam and columns			<ul style="list-style-type: none"> Appearance enhancement Heritage conservation 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
C-20	Removing corrugated metal roof with columns				<ul style="list-style-type: none"> Repairing disturbed granite steps after removal 	
C-21	Introducing a new ramp next to the front façade and the front external staircase to give access to the front entrance	North façade External staircase in front of front façade	Very high Very high	<ul style="list-style-type: none"> Building codes compliance (BFA & protective barrier provision) 	<ul style="list-style-type: none"> Locating the ramp strategically to avoid conflict with the front staircase Designing balustrade with suitable details and materials of less visual impact (e.g. glass) 	Acceptable impact with mitigation measures

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
Roof						
C-22	Repairing flat roof by replacing waterproofing membrane	Flat roofs on north and south sides	Medium	<ul style="list-style-type: none"> Building repair 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works Carrying out condition survey of roof slab and repairing spalling concrete after removal of existing waterproofing and before application of the new one 	Beneficial impact
C-23	Reroofing the pitched roof in the middle portion	Pitched roof in the middle, with: -Double pan, double roll Chinese clay tiles -Monitor roofs	Very high High Very high	<ul style="list-style-type: none"> Building repair 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
C-24	Removing building services installation on the flat roofs and relocating them to the new annex	Flat roofs on north and south sides: -Building services installation	Intrusive	<ul style="list-style-type: none"> Appearance enhancement Operational need Heritage conservation 	<ul style="list-style-type: none"> See B-2 See C-15 for removing building services pipeworks on façades as well 	Beneficial impact
C-25	Adding fall arrest system on the flat roof (if the existing roof's structural condition allows the installation)	Flat roofs on north and south sides	Medium	<ul style="list-style-type: none"> Operational need 	<ul style="list-style-type: none"> Installing fall arrest system instead of railing to minimize visual impact Subject to structural appraisal 	Acceptable impact with mitigation measures
C-26	Repairing the existing access hatch door	Flat roofs on north and south sides: -Access hatch	No value	<ul style="list-style-type: none"> Operational need Building repair 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
C-27	Removing vegetation and repairing chimneys	Chinmeys with moulding	Very high	<ul style="list-style-type: none"> Building repair 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact

D. Block 58 Interior

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
All floors						
D-1	Repairing (or replacing if beyond repair) timber floor joists, roof king posts, purlins, battens and any other timber structural members in the middle portions (localized structural strengthening works may be needed, subject to condition of timber joist by structural survey)	Building structure, generally consisted of: -brick walls/ columns -chamfered concrete beams and slabs at verandahs and flat roof on front and rear portions -timber joist and plank flooring on G/F and 1/F at middle portion -timber king posts, purlins and batten structure of roof at middle portion	Very high	• Building repair	<ul style="list-style-type: none"> • Carrying out condition survey (pin, tapping and termite check) to check extent of defective timber members • Carrying out condition survey (hammer tapping) to check extent of spalling concrete • Carrying out condition survey (visual inspection after opening up defective plaster) to check extent of defective brickworks • Recording by photographic and cartographic survey before works • Seeking structural engineer's advice if structural defects are identified at timber joists and concrete elements. In any case, localized strengthening works with design minimizing both physical and visual impacts should be aimed • Reviewing the location of rooms with new usage needing 5kPa live load, if it is found that they cannot be supported by the existing timber floor structure upon structural appraisal, and shuffling their location to where 	Beneficial impact
D-2	Repairing concrete floor and roof slabs and beams in the front and rear portions (localized structural strengthening works may be needed, subject to condition of concrete by structural survey)		Very high Very high			
D-3	Repairing structural brick walls and arches, including verandah arches, verandah cross arches, long walls of middle portion, cross walls of middle portions and chimney stacks)		Very high Very high			

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
					<p>the existing structure can support 5kPa</p> <ul style="list-style-type: none"> In case if any structural strengthening/ recasting works that have not yet mentioned in this HIA is necessary, further consulting AMO for such additional structural works 	
D-4	Enhancing fire resisting property of the existing timber floor structure by 1) covering up the soffit of timber floor with appropriate fire protection panel on LG/F and G/F and leaving the underside of the timber joist be seen on ceiling on LG/F and G/F, if structural appraisal proves that the charred timber joists can provide adequate structural integrity in case of fire, or 2) covering the entire soffit of timber floor system (including the joist), if structural appraisal proves that the charred timber joists will fail to provide adequate structural integrity in case of fire	Building structure, including: -timber joist and plank flooring on G/F and 1/F at middle portion -timber king posts, purlins and batten structure of roof at middle portion	Very high Very high Very high	<ul style="list-style-type: none"> Fire code compliance (FRR requirement) 	<ul style="list-style-type: none"> Subject to fire engineering study's approval and structural appraisal's finding, the FRR strategy is to preserve timber floor and roof structures and to minimize disturbance on them Covering up the soffit side of the timber floor only but leaving the top side of the floor and the timber joist uncovered (option1, the preferred option), so as to allow appreciation on the timber floor structure Painting all other exposed timber elements by fire retardant paint to preserve them and retain their appearance Installing fast-response type sprinkler head to compensate deficiency in FRR 	Acceptable impact with mitigation measures

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-5	Applying fire retardant paint to all exposed timber structural elements					
D-5A	Enhancing fire resisting property of the existing concrete floor structure by covering up the soffit of the concrete beam and slab with appropriate fire protection panel on LG/F, G/F and 1/F	Chamfered concrete beams and slabs at verandahs and flat roof on front and rear portions	Very high	<ul style="list-style-type: none"> Fire code compliance (FRR requirement) 	<ul style="list-style-type: none"> Retaining the chamfered edge (and any other form of moulding/ cornice if any) 	Acceptable impact with mitigation measures
G/F and 1/F						
D-6	Reopening the front and rear verandahs and removing all later added partitions or rooms	Building layout consisted of three portions	Very high	<ul style="list-style-type: none"> Heritage conservation Spatial enhancement 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	Beneficial impact
D-7	Repairing the plastering of verandah brick arches and columns, verandah cross arches, long brick wall along grid B and C, concrete ceiling and repainting in white coloured external use paint, preserving the remaining metal vent grilles	Verandahs at both front and rear portions on both G/F and 1/F, with: -Plastered and painted segmental verandah brick arches and columns on 1/F interior side of the external wall -Plastered and painted columns with plain capital and base on G/F interior side of the external wall -Plastered and painted internal walls on both G/F	Very high Medium Medium Medium	<ul style="list-style-type: none"> Building repair Spatial enhancement 	<ul style="list-style-type: none"> Carrying out condition survey (hammer tapping) to check extent of defective plastering Recording by photographic and cartographic survey before works Repainting by using mineral breathable paint 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
		and 1/F (along grid B and C) -Metal vent grilles on the internal walls on both G/F and 1/F -Plastered and painted cross arches -Plastered and painted ceiling	High Medium Medium			
D-7A	Adding timber deck to the verandahs on both G/F and 1/F verandahs and matching floor level with rooms at the central portion	Verandahs at both front and rear portions on both G/F and 1/F, with: - Screeded floor - Thermoplastic/ vinyl floor	Medium Intrusive	<ul style="list-style-type: none"> Spatial enhancement Barrier free access 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works Timber deck should be raised from the concrete floor to allow drainage of floor water 	Beneficial for G/F, acceptable impact with mitigation measure for 1/F
D-8	Restoring the two internal staircases at verandahs into balcony approached staircases, repairing granite flights partly inlaid with wash grano, repairing/ restoring cast iron balustrades (posts and railing), and repairing supporting brick walls in the middle of the flights and the enclosing walls at one side of the staircases	Two granite staircases from G/F to 1/F, one at each verandah, with: -Granite flights partly inlaid with wash grano surface -Cast iron posts and railing -Supporting brick walls in the middle of the flights -Metal door leading to exterior -Enclosing wall on one side	Very high Very high Very high High No Low	<ul style="list-style-type: none"> Heritage conservation Spatial enhancement 	<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works Using the remaining cast-iron railing and posts as reference for restoring the lost ones 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-9	<p>Adding 1100mm high glass balustrade behind cast iron post and railing</p> <p>Adding 450mm depth smoke barrier at high level of existing staircase exits on G/F</p> <p>Adding warning signs at the entrance to the staircase to alert occupants the geometry of the staircase</p>			<ul style="list-style-type: none"> Building code compliance (for protective barrier and for fire code compliance with fire engineering approach) 	<ul style="list-style-type: none"> Subject to structural investigation on the grading of existing concrete slab and also the strength of granite steps and thus their ability to take up the dead and live load induced by the new balustrades Designing installation detail so as to minimize disturbance to the granite steps and other CDEs 	Acceptable impact with mitigation measure
D-10	Re-planning the existing layout of the middle portion by keeping the original cross walls (except D-13) and chimney stacks but removing the later added partitions and re-partitioning	Building layout consisted of three portions	Very high	<ul style="list-style-type: none"> Operational need 	<ul style="list-style-type: none"> Keeping the original cross walls and chimney stacks (structure) 	Acceptable impact with mitigation measure
D-11	Introducing a new metal staircase at the new reception area on G/F middle portion and thus necessarily creating a double height space, introducing display for heritage interpretation and restoring a fireplace next to the double	<p>Building structure, consisted of:</p> <ul style="list-style-type: none"> -brick walls/ columns -timber joist and plank flooring on G/F and 1/F at middle portion 	Very high	<ul style="list-style-type: none"> Operational need Spatial & circulation enhancement Heritage interpretation 	<ul style="list-style-type: none"> Openings on floors created are localized and strengthening by light-weight steel beam to avoid change of load path and additional dead load to footing Opening up of brick walls are localized and strengthening by light-weight steel lintel beam/ steel box frame to avoid change 	Acceptable impact with mitigation measure

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-12	height space, therefore removing timber flooring and joists on 1/F Removing brick wall between grid B5 & B7 and C5 & C6 on G/F, removing brick wall between grid B5 & B6 and C5 & C6 on 1/F for circulation enhancement				<ul style="list-style-type: none"> of load path and additional dead load to footing Staircase is of light-weight steel structure due to the same reason Staircase to be supported by existing brick wall instead of by independent footing since the former case will create less structural impact and disturbance, and less visual impact Fireplace restoration to make reference to other barrack buildings of similar era which still carry original fireplaces, old photos, existing physical evidence and findings of archives Removed timber joist, flooring and bricks will be salvaged for necessary replacement of the very delapidated existing ones 	
	Creating openings on timber floors for pipeducts in the middle portion			<ul style="list-style-type: none"> Operational need Necessary building services installation 		
D-13	Creating doorways on the two cross walls on 1/F grid 8 to give a large space for better use of the common area	Building structure, consisted of: -brick walls/ columns Rooms in the middle portions, with: - cross brick wall on the two sides of the chimney stack	Very high Very high Medium High	<ul style="list-style-type: none"> Operational need 	<ul style="list-style-type: none"> Prior to opening creation, opening up the plastering first to revive if any archways or any old blocked old doorways exist on the cross walls. If so, creating the doorways by making use of the archways or old doorways If no archways or old doorways exist, create openings by introducing light weight steel 	Acceptable impact with mitigation measure

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
					lintel to avoid adding load to footing <ul style="list-style-type: none"> Salvaging bricks for repair of the existing delapidated brickworks 	
D-14	<p>Repairing the existing plaster and repainting long brick walls along grid B and C, and revealing the facing bricks at chimney stacks, cross walls and end walls in the middle portion, if old plaster can be removed readily (lime base) without damaging the brick substrate, or</p> <p>Repairing the existing plaster and repainting, if the removal of existing plaster (cement base) will damage the brick substrate</p> <p>Restoring fireplaces at cross walls, if they are located in public-accessible rooms</p>	Rooms in the middle portions, with: <ul style="list-style-type: none"> -Chimney stacks (5 nos. on G/F and 5 nos. on 1/F) -Vinyl floor finish - cross brick wall on the two sides of the chimney stack -Plastered and painted internal walls on both G/F and 1/F - False ceiling on G/F and ceiling grilles on 1/F 	Medium Very high No value High Medium Intrusive	<ul style="list-style-type: none"> Building repair Heritage conservation 	<ul style="list-style-type: none"> Carrying out condition survey (hammer tapping) to check extent of defective plastering Carrying out trial plaster removal and laboratory test to check if the plaster is of lime or cement base and if removal of plaster will damage brick substrate Repairing red bricks, bedding and pointing. Replacement material should match existing (in terms of size, colour, strength, mortar mix) Repainting the plastered brick walls by using mineral breathable paint Fireplace restoration to make reference to other barrack buildings of similar era which still carry original fireplaces, old photos, existing physical evidence and findings of archives Carrying out condition survey to check condition of the original timber flooring after removal of later added vinyl floor finish 	Beneficial impact
D-15	Removing vinyl floor and to expose timber flooring in the middle portion, and repairing the timber flooring					

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-16	Removing false ceiling on G/F and ceiling grilles on 1/F to expose the timber elements on roof and floor (except adding appropriate fire resisting material as per D-4 and fire-retardant paint as per D-5)				<ul style="list-style-type: none"> Recording by photographic and cartographic survey before works 	
D-17	Blocking up later added door/ window openings along grid line B and C	Verandahs at both front and rear portions on both G/F and 1/F, with: -Later added door/ window openings -Doors, windows and louvres	Very high Intrusive No	<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Using brick of the same size and acceptance structural strength for the brick wall restoration Recording by photographic and cartographic survey before works 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-18	<p>For the original windows and doors openings, except those mentioned in item D-11, the following treatments are proposed:</p> <p>A) Keeping original door openings as door openings;</p> <p>B) Restoring original door openings that were once/ are blocked, changed to windows/ altered in width as door openings matching original size;</p> <p>C) Restoring original window openings that were once/ are blocked, changed to doors/ altered in width as window openings matching original size;</p>	<p>Verandahs at both front and rear portions on both G/F and 1/F, with:</p> <ul style="list-style-type: none"> - Original door and window openings with heads and thresholds built in on the internal walls (mostly have been altered) - Doors, windows and louvres 	<p>Very high</p> <p>High</p> <p>No</p>	<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Restoring the original size, including width and height, of door/ window opening as per finding from cartographic survey and site physical evidence Preserving (repairing and reviving) granite door/ window heads, door thresholds and window sills, if any Recording by photographic and cartographic survey before works Applying for BFA compliance exemption if door width is found inadequate for barrier free access 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
D-18	D) Changing original window openings that were once/ are blocked, changed to doors/ altered in width to door openings	Same as above	Same as above	<ul style="list-style-type: none"> Operational need 	<ul style="list-style-type: none"> Restoring the original width of the window opening as per finding from cartographic survey and site physical evidence For the portion above door (2100mmH), creating fanlight so as to match the original height of the window openings. The fanlights are thus new elements introduced to distinguish new intervention Preserving (repairing and reviving) granite window heads if any Salvaging granite window sills, if any, for repair of the existing and preserved one Recording by photographic and cartographic survey before works Applying for BFA compliance exemption if door width is found inadequate for barrier free access 	Acceptable impact with mitigation measure
D-19	Replacing/ providing timber doors with self-closing properties for all doors to rooms of the middle portions	Verandahs at both front and rear portions on both G/F and 1/F, with: - Original door and window openings with heads and thresholds built in on the internal walls (mostly have been altered)	Very high High	<ul style="list-style-type: none"> Fire code compliance Heritage conservation 	<ul style="list-style-type: none"> Restoring timber doors of old appearance by making reference to old photos Self-closing doors is necessary for compensation of fire code compliance deficiency based on fire engineering study, otherwise protected lobby is 	Beneficial impact

Item No.	Assessment Item / Proposed new works	Affected CDEs / elements	Level of significance	Reason for changes	Suggested Mitigation / Recommendation	Overall Impact level
		-Doors, windows and louvres	No		required, which will create more heritage impact	
D-20	Replacing the existing windows with new timber ones for all windows to rooms of the middle portion			<ul style="list-style-type: none"> Heritage conservation 	<ul style="list-style-type: none"> Restoring timber doors of old appearance by making reference to old photos 	Beneficial impact
D-21	For those windows and doors within 6m from the existing internal staircase, protecting the windows and door openings by sprinkler on both sides, subject to FE Report's approval by the Authority			<ul style="list-style-type: none"> Fire code compliance 	<ul style="list-style-type: none"> FRP windows and doors are necessary for compensation of fire code compliance deficiency based on fire engineering study, otherwise protected lobby is required, which will create more heritage impact 	Acceptable impact with mitigation measure
D-22	Installing new building services in the building interior	Entire building	N/A	<ul style="list-style-type: none"> Fire code compliance Operational need 	<ul style="list-style-type: none"> Re-planning building services installation to minimize visual impact to the building interior Using existing wall opening created for building services passage as far as possible 	Acceptable impact with mitigation measure
D-22A	Installing new sinks in classroom/ multi-purpose rooms for workshop use	G/F and 1/F middle portion	N/A	<ul style="list-style-type: none"> Operational need 	<ul style="list-style-type: none"> Planning building services installation in such a way to minimize visual impact to the building interior 	Acceptable impact with mitigation measure
LG/F						
D-23	Preserving the entire LG/F and all its features, and repairing as necessary	Chimney stack bases Switch box with signage indicate barrack use Patterned brick screen wall on the entire floor Cast iron air grille	Very high High Medium High	<ul style="list-style-type: none"> Heritage conservation Building repair 	<ul style="list-style-type: none"> Carrying out condition survey Recording by photographic and cartographic survey before works 	Beneficial impact

10

RECOMMENDATIONS

10.1 Overall Assessment

Based on the impact assessment in chapter 9, it is recommended that the overall potential impacts on the Site are considered acceptable and manageable with appropriate mitigation measures stated in this report. It is opted that the proposed conversion works can revitalise the Site and respect its cultural significance with acceptable heritage impacts based on the following observations:

- New building use (activity centre), allowing public access and providing interpretation will be beneficial for the adaptive reuse of the Site;
- The new internal layout design tries to respect the original building design, in which essential spaces of a barrack building are preserved;
- Alterations and additions necessary for statutory compliance and operational needs are considered acceptable;
- The introduction of the new annex, connecting pathways to Block S61, S62, EVA are considered necessary and the impact on the Site and the surrounding environment are kept minimum.

10.2 Way Forward

The coming works for the adaptive reuse should follow this HIA report. A heritage consultant should be appointed in the project team during the design and construction stage to ensure that the HIA report and the conservation policies stated in the CMP can be executed appropriately and effectively. In case there is any significant change to the design plans in the future, which deviates from this HIA report and affects the cultural significance of the Site, the assessment and recommendation made in this report should be reviewed accordingly to reassess the appropriateness of the proposed works and formulate new mitigation measures for future approval from AMO. The CMP should be the document that any revision of this HIA report should refer to and be based on.

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Record Plan/ Map

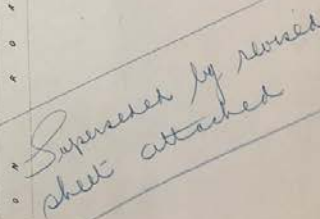
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- The National Archives CO129/104
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- *Architectural Services Department, Microfilm No. 65040*
- *Architectural Services Department, Microfilm No. 65041*
- *Architectural Services Department, Microfilm File No. M000457*
- *Extract from an Urban Council Discussion Paper, Public Records Office, File No. HKRS 1105-1-9*
- *Extracted from Recreation Select Committee, Capital Works Select Committee, and Museums Select Committee of Urban Council discussion paper, Public Records Office, File No. HKRS 1105-1-9*

Appendix A.1

Skeleton Record Plans of Whitfield Barracks
(Source: The National Archives, Kew, Richmond, United Kingdom)

Nº 2 OF SET OF 3



— **GROUND FLOOR PLAN** —
Scale: 1 inch = 10 Feet to 1 Mile

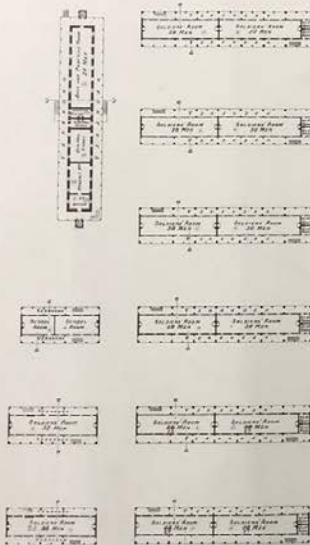
Ft Darling
 Crowned Crane Emblem
 Fort Crane Chapter
 No. 1000

HONG KONG KOWLOON

SKELETON RECORD PLAN OF

WHITFIELD BARRACKS

Nº 3 OF SET OF 3



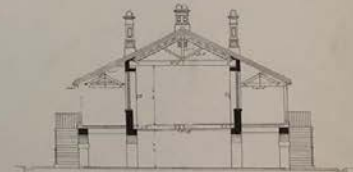
Superseded by revised sheet attached



SECTION THRO. HOSPITAL
ON A.A.



SECTION THRO. A B C D E F G H I & J BLOCKS
ON B.B.



SECTION THRO. ARMOURY
ON C.C.

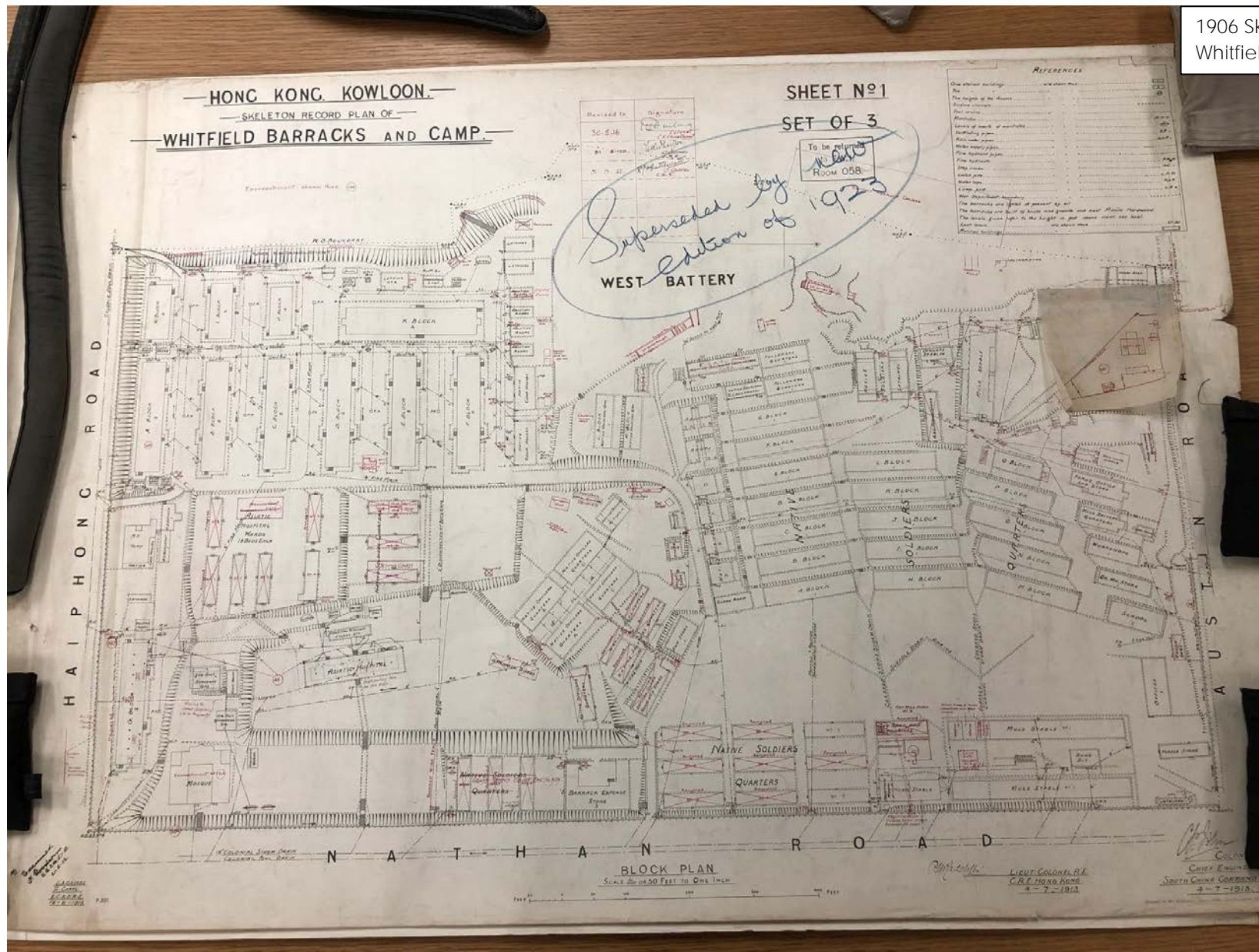
FIRST FLOOR PLAN

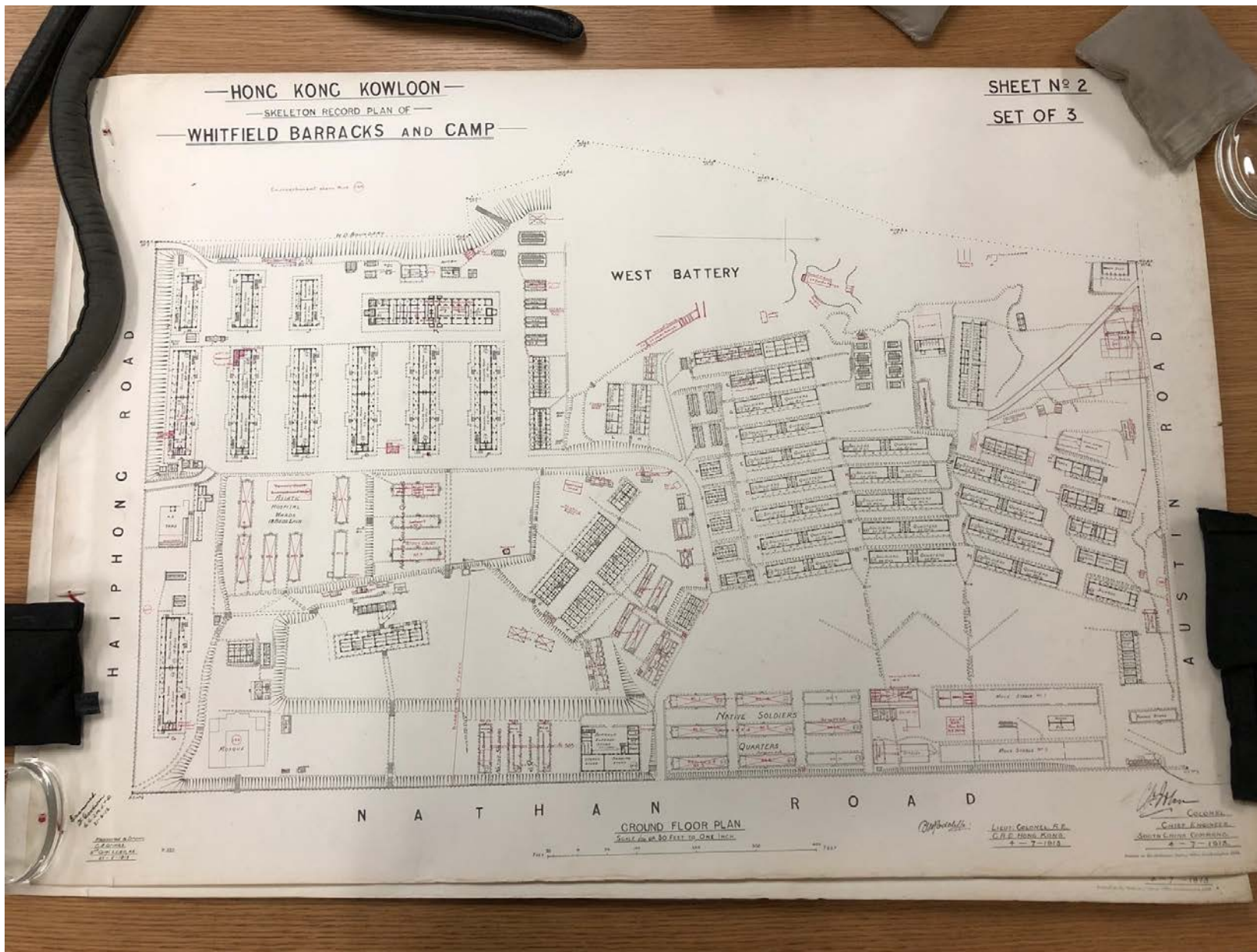
SCALE: 1/4" = 1' 0"

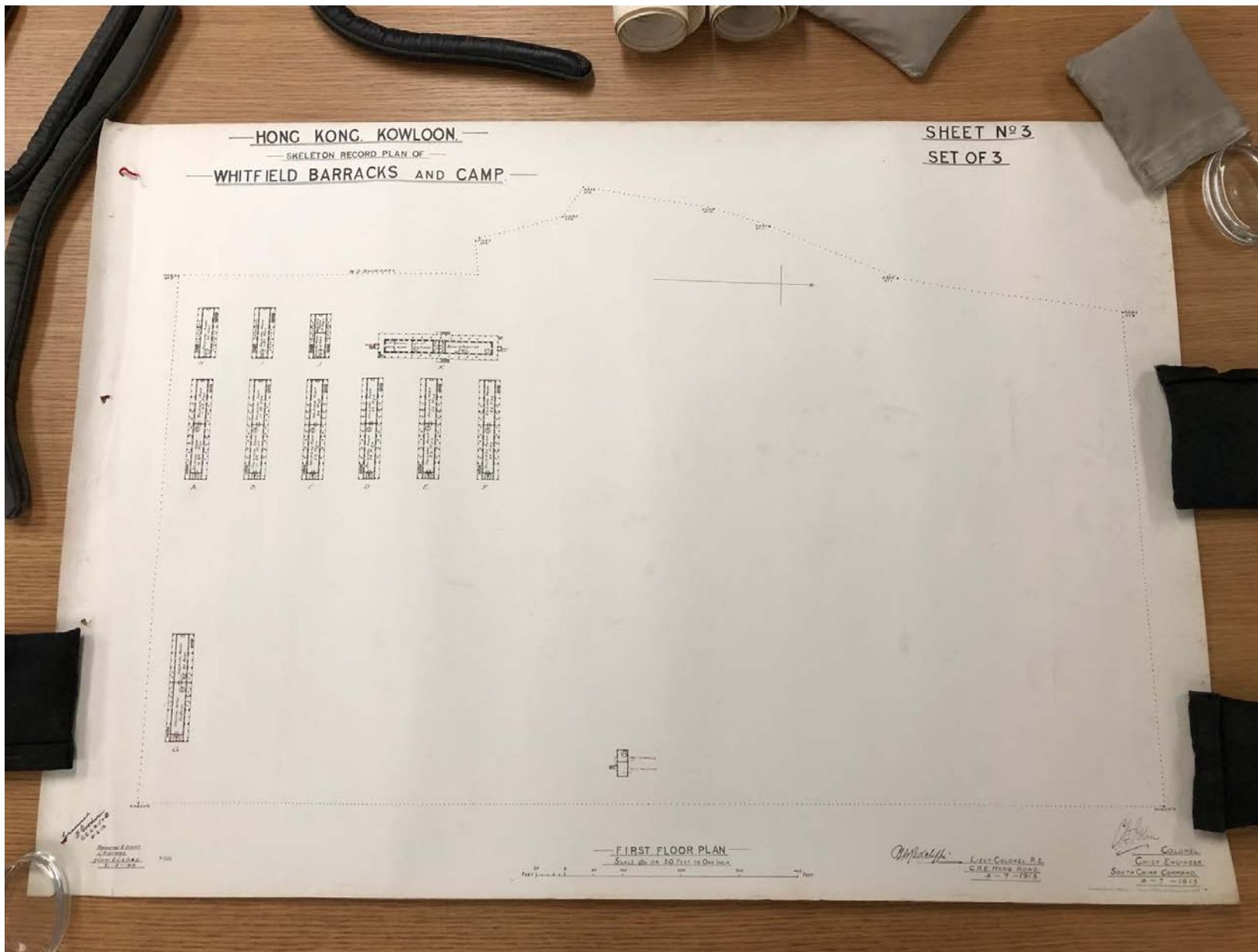
100 FEET

W. H. P. L.
General Civil Engineer
Supt. Civil Engineer
1900
Drawn by: [illegible]

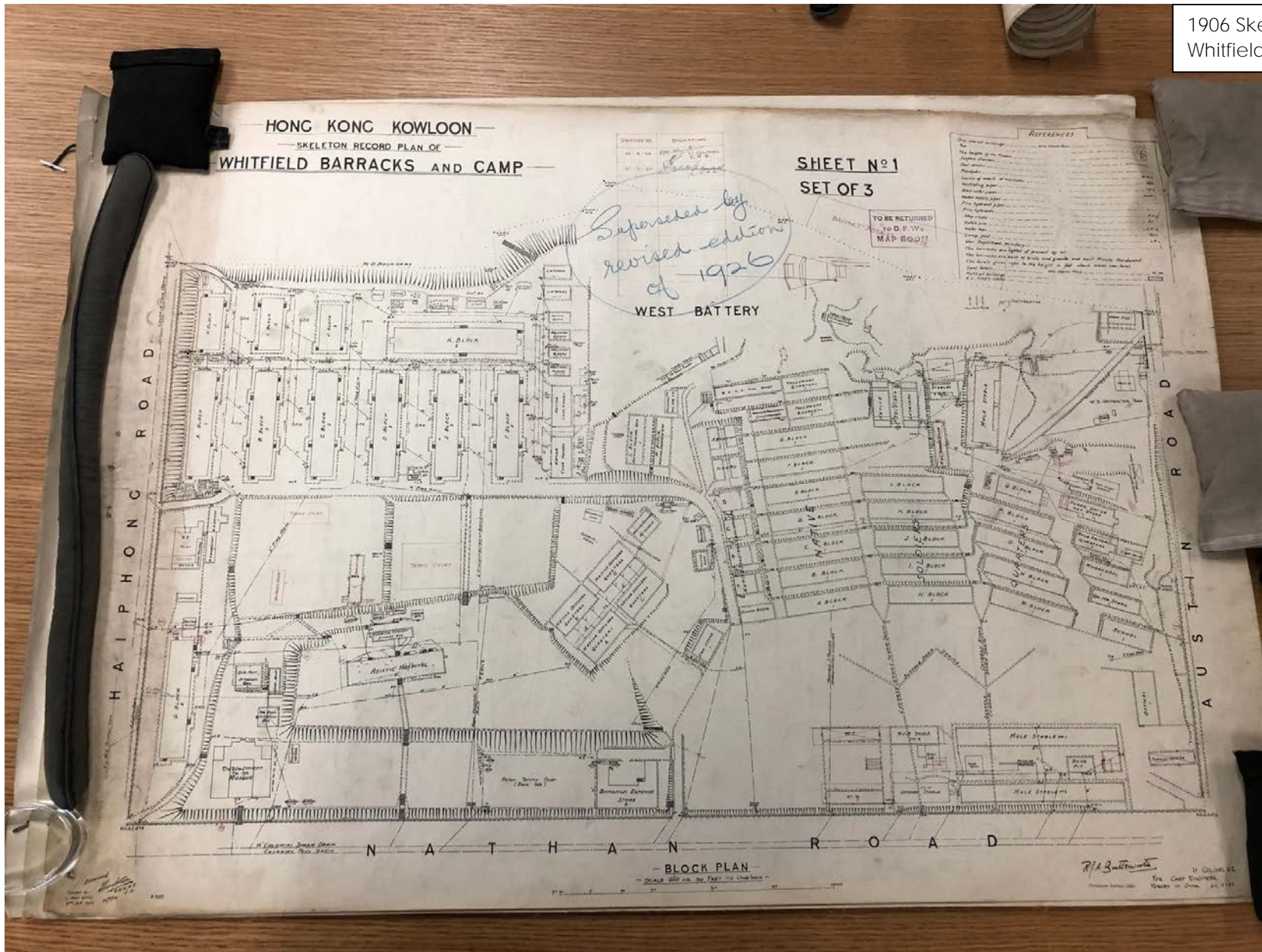
1906 Skeleton Record Plan of Whitfield Barracks and Camp







1906 Skeleton Record Plan of Whitfield Barracks and Camp



SHEET N° 2
SET OF 3

WEST BATTERY

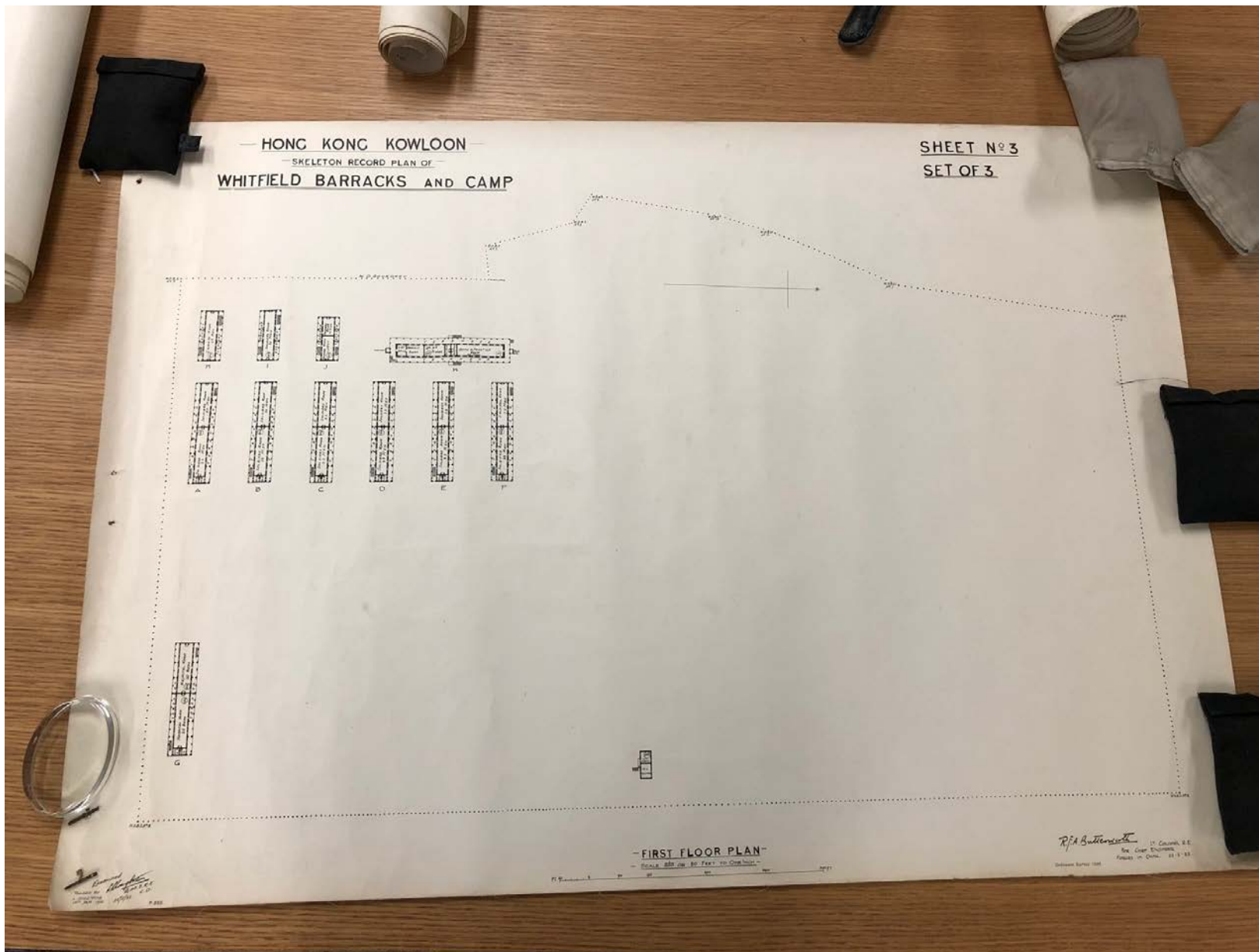
H A I P H O N G R O A D

N A T H A N R O A D

- GROUND FLOOR PLAN

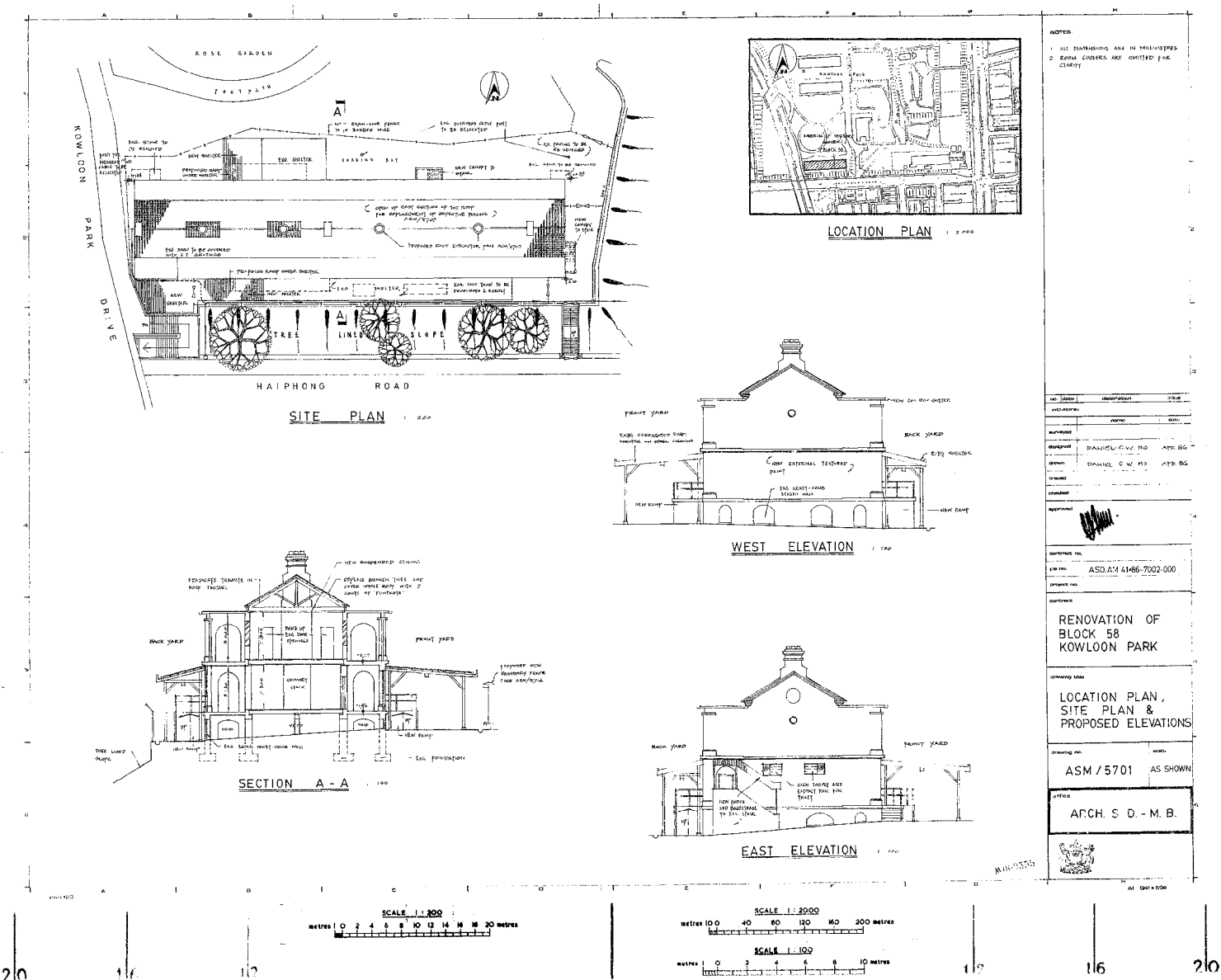
SCALE 100 OR 20 FEET TO ONE INCH

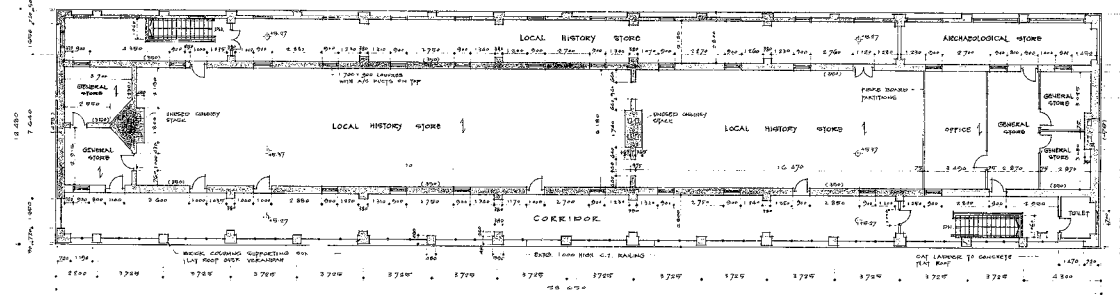
R. A. Buttsworth 13 Council St.
100 York Terrace
Glenview, N.S.W. 2153



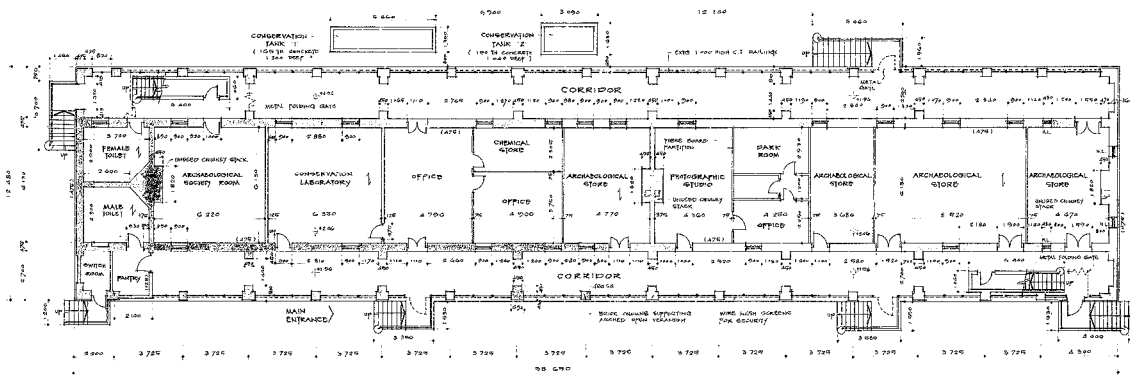
Appendix A.2

1986 Alteration Plans of Block 58
(Source: Architectural Services Department)





FIRST FLOOR PLAN



GROUND FLOOR PLAN

- NOTES
1. ALL DIMENSIONS ARE IN MM.
 2. DO NOT SCALE OFF DIMENSIONS FROM THE DRAWING.
 3. THE CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE AND ADVISE THE SURVEYOR OF ANY DISCREPANCIES, PARTICULARLY BEFORE ORDERING OR CUTTING OUT MATERIALS.
 4. THE LEVELS SHOWN ARE RELATIVE ONLY. DIFFERENCE LEVELS SHOWN AT THE SOUTH-EAST CORNER OF THE BUILDING ON GROUND.
 5. LOCATION OF RAIN, COOLING AND AIR DUCTS UNDER WINDOW HOODS ARE NOT SHOWN FOR CLARITY.

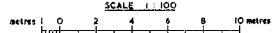
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RENOVATION OF
BLOCK 58
KOWLOON PARK

EXISTING GROUND
FLOOR & FIRST
FLOOR PLAN

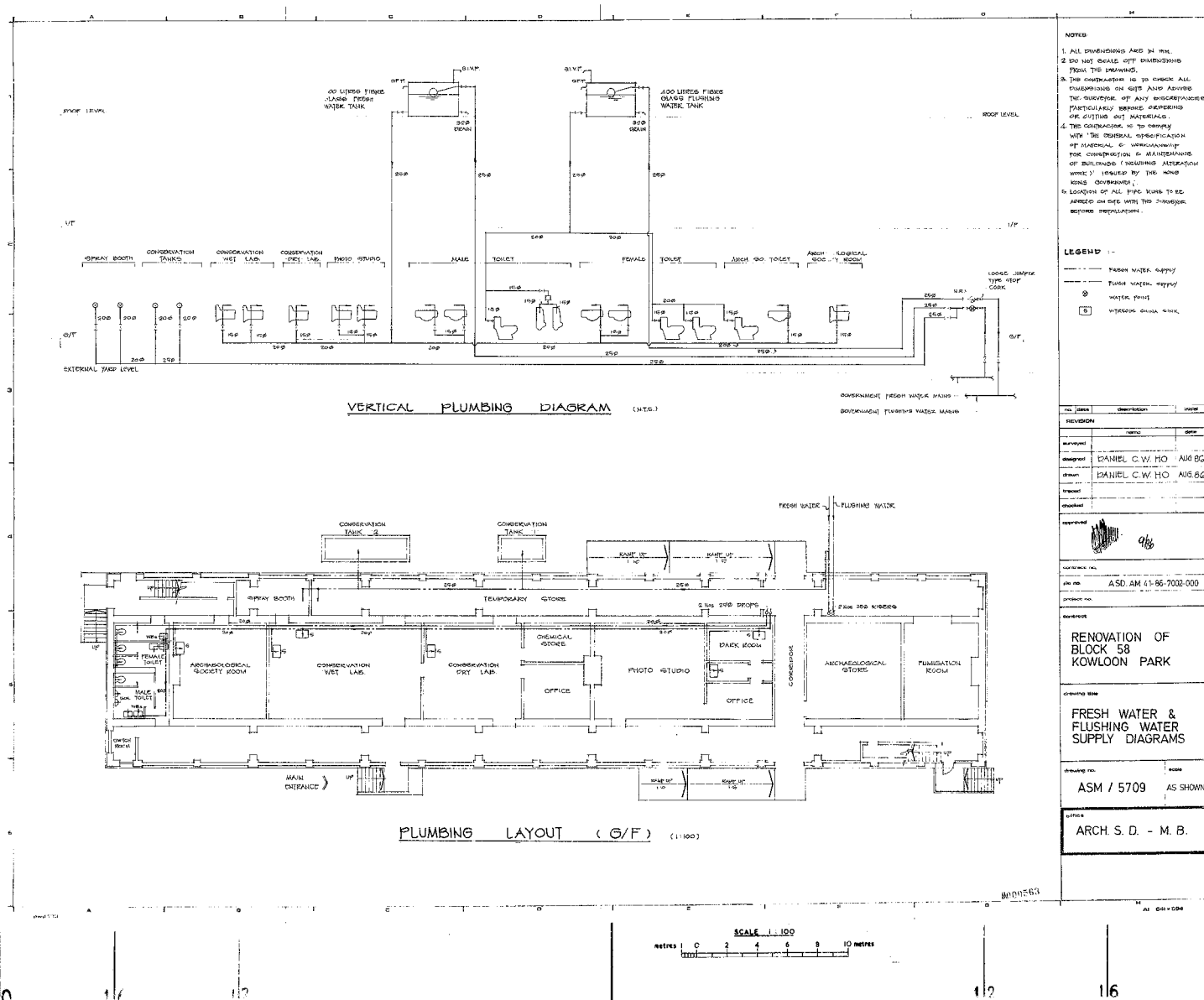
ASM / 5702 1:100

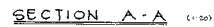
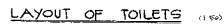
ARCH. S. D. - M. B.

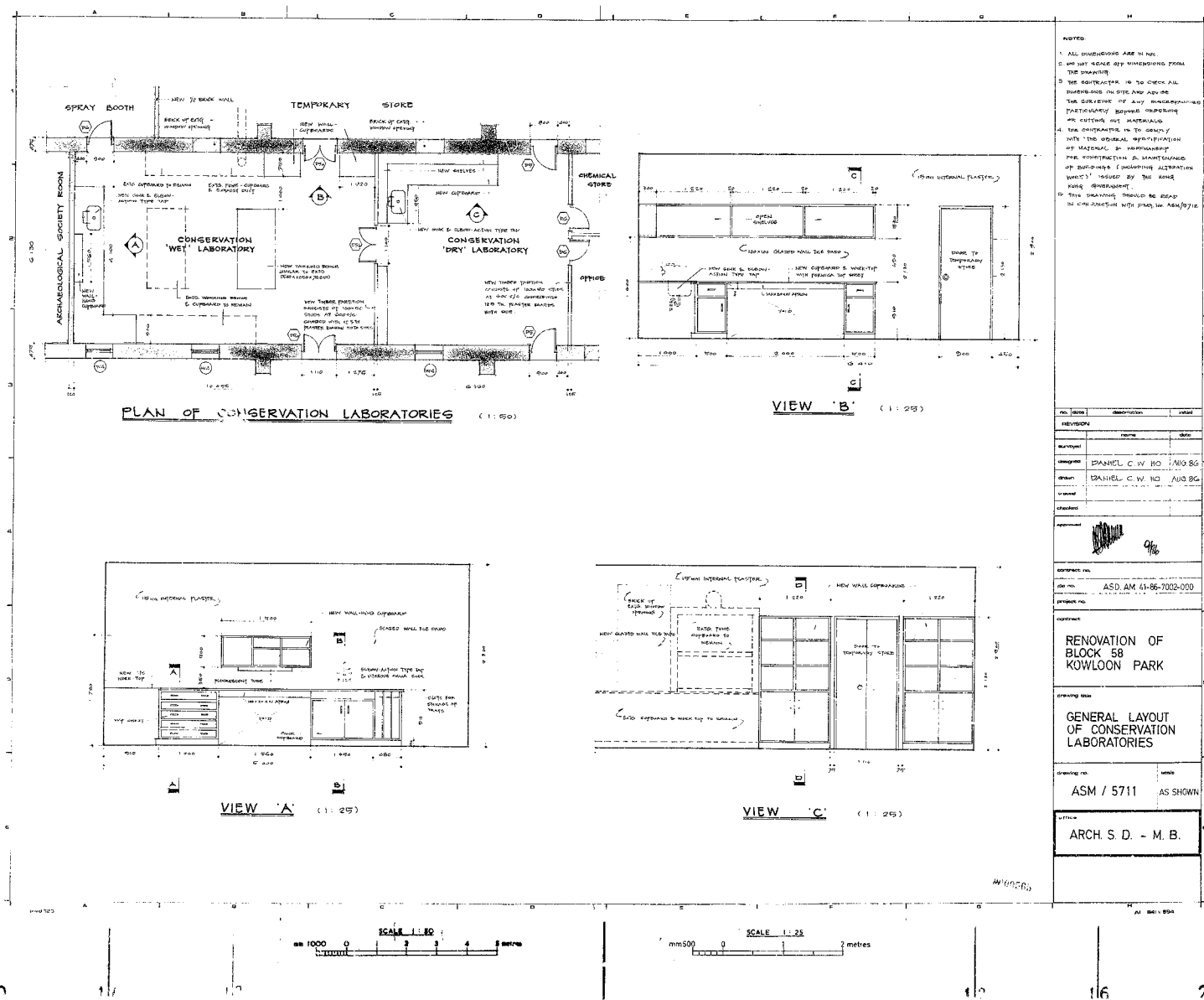












NOTES

1. ALL DIMENSIONS ARE IN MM.

2. DO NOT SCALE OFF DIMENSIONS FROM THE DRAWING.

3. THE CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE AND ADVISE THE SURVEYOR OF ANY DISCREPANCIES PARTICULARLY BEFORE PROCEEDING TO CUTTING OUT MATERIALS.

4. THE CONTRACTOR IS TO COMPLY WITH THE GENERAL SPECIFICATION OF MATERIALS & WORKMANSHIP FOR CONSTRUCTION & MAINTENANCE OF BUILDINGS (DISCARDING ALTERNATION WORDS) ISSUED BY THE HONG KONG GOVERNMENT.

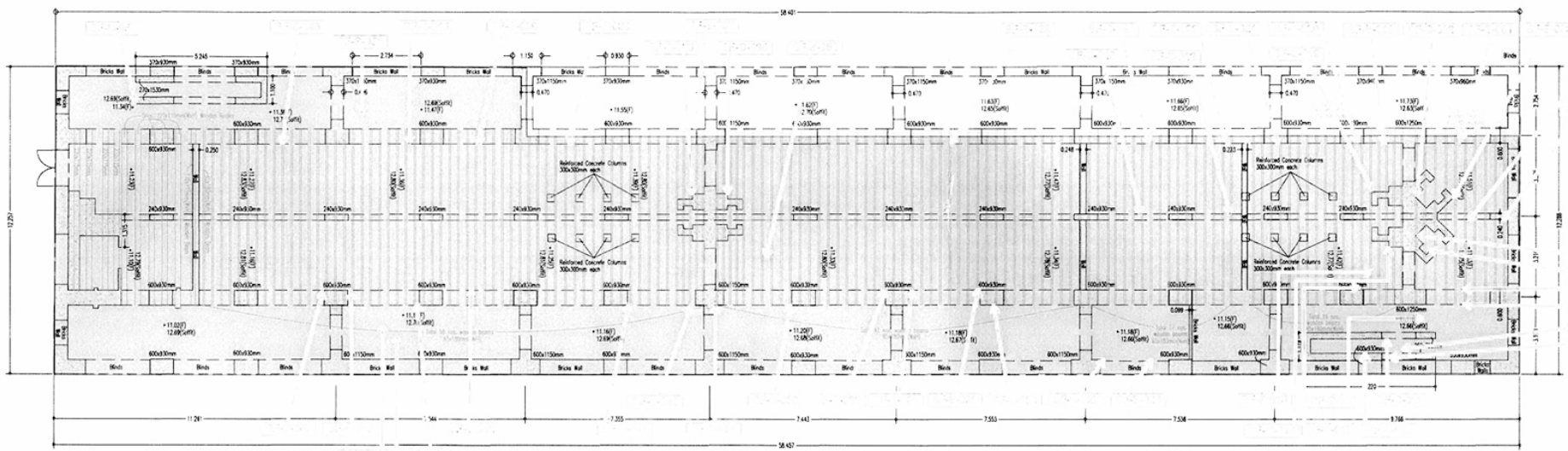
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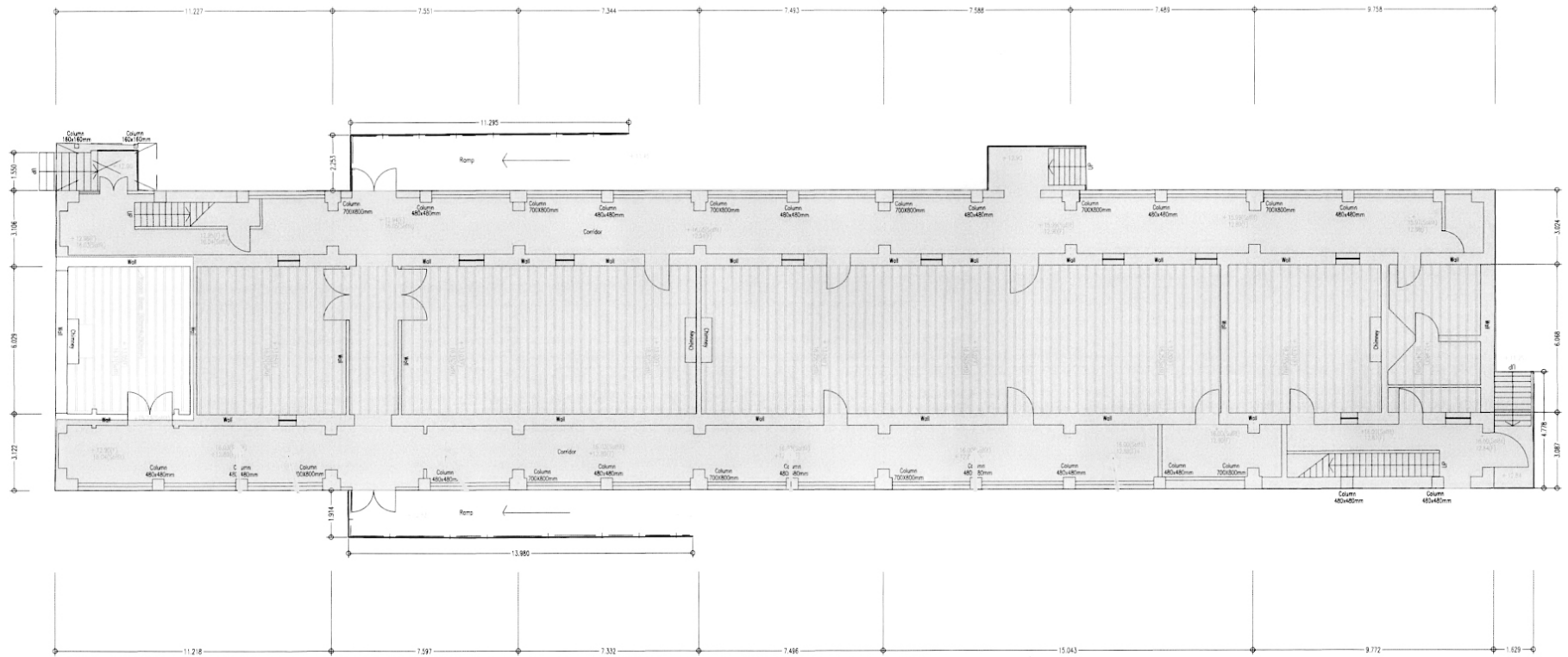
Appendix A.3

2013 Record Plans of Block 58

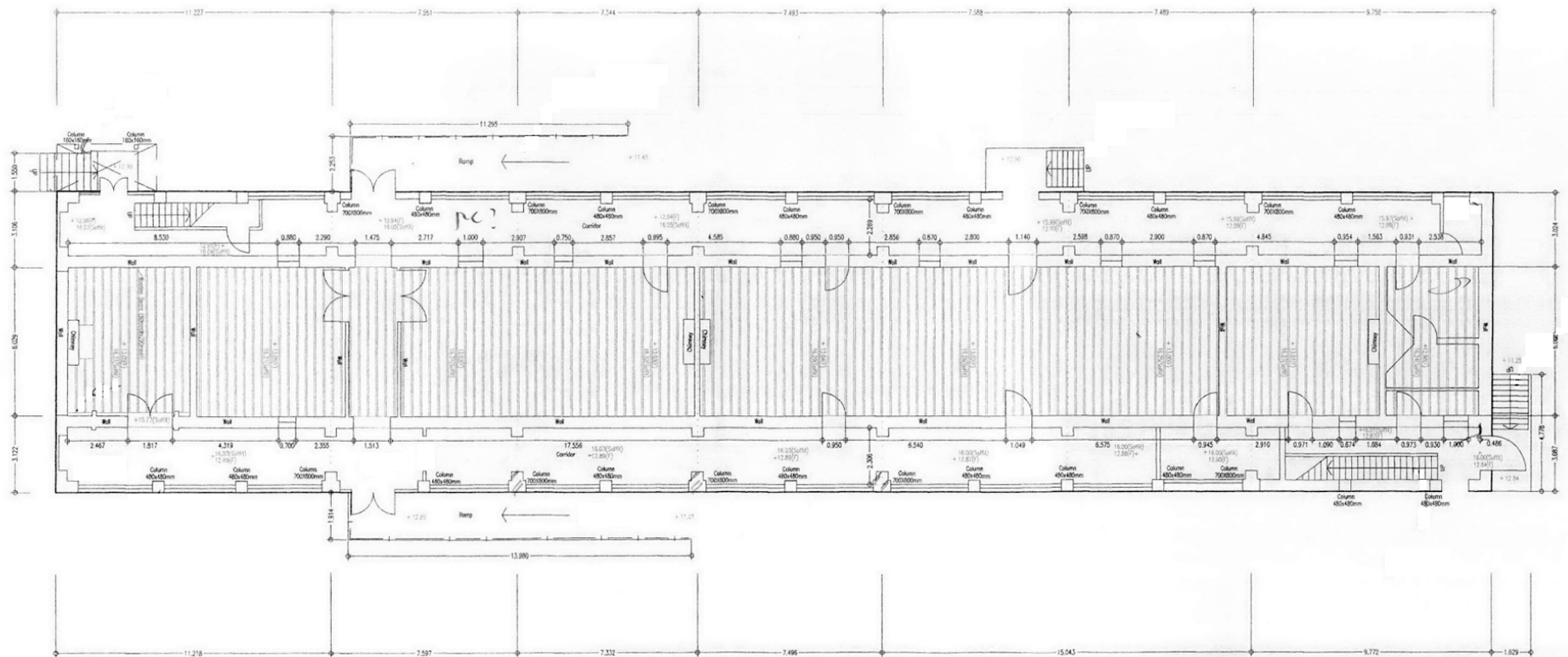
(Source: Structural Appraisal Report for Block 58, Kowloon Park in Tsim Sha Tsui, Kowloon, 2013, Architectural Services Department)



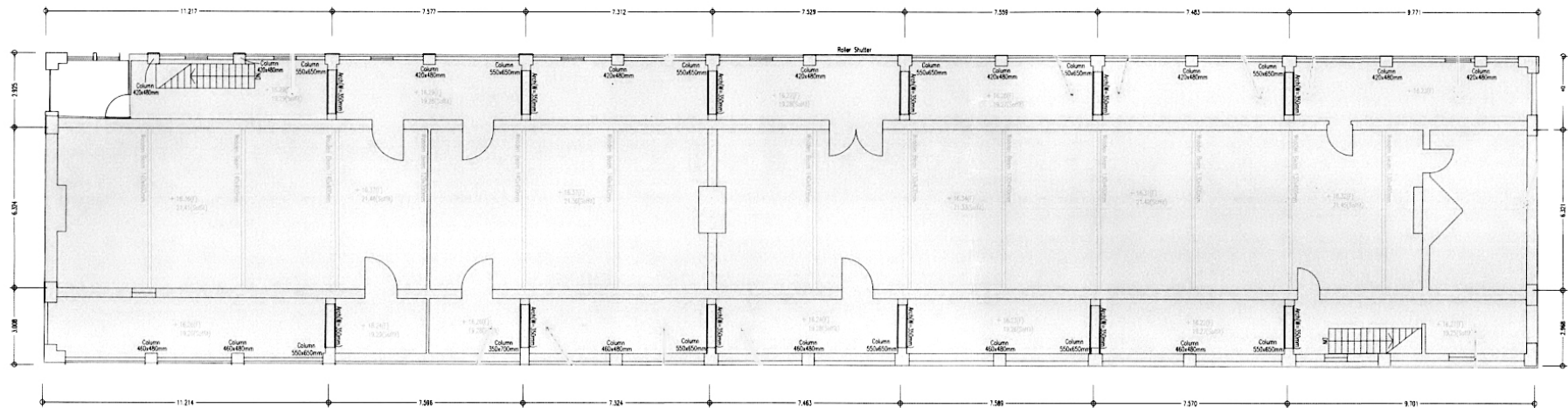
BASEMENT PLAN



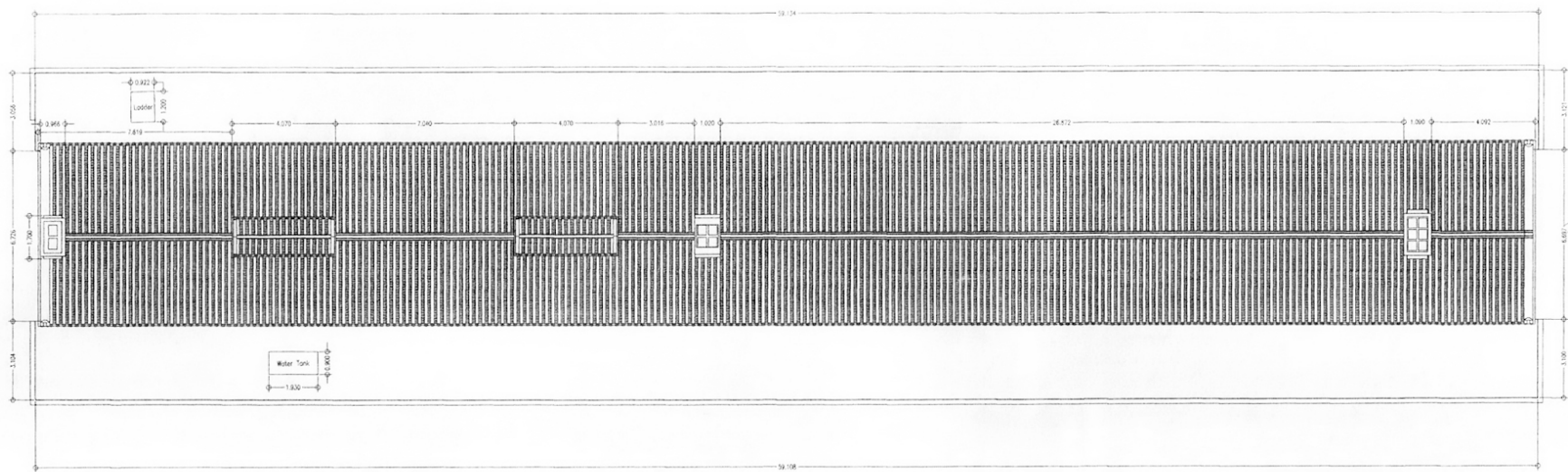
GROUND FLOOR PLAN



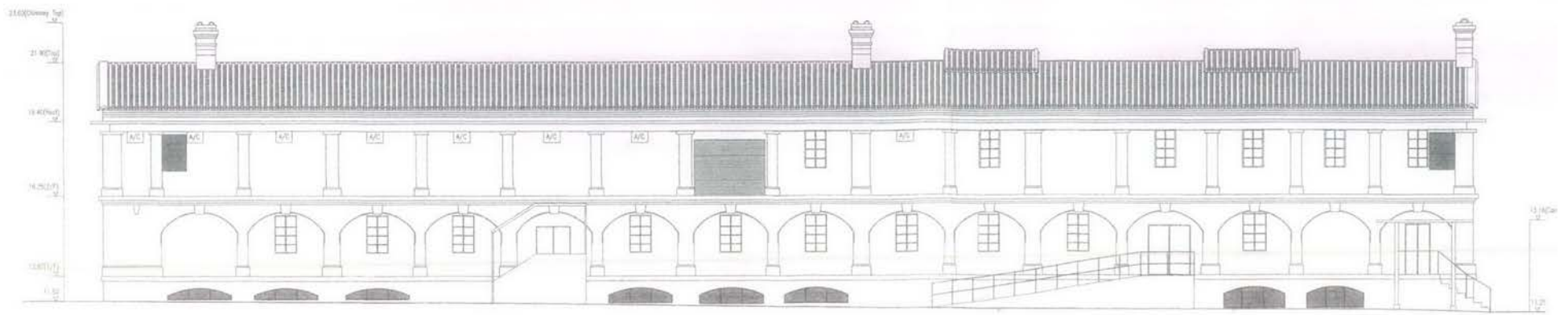
First Floor Framing Plan



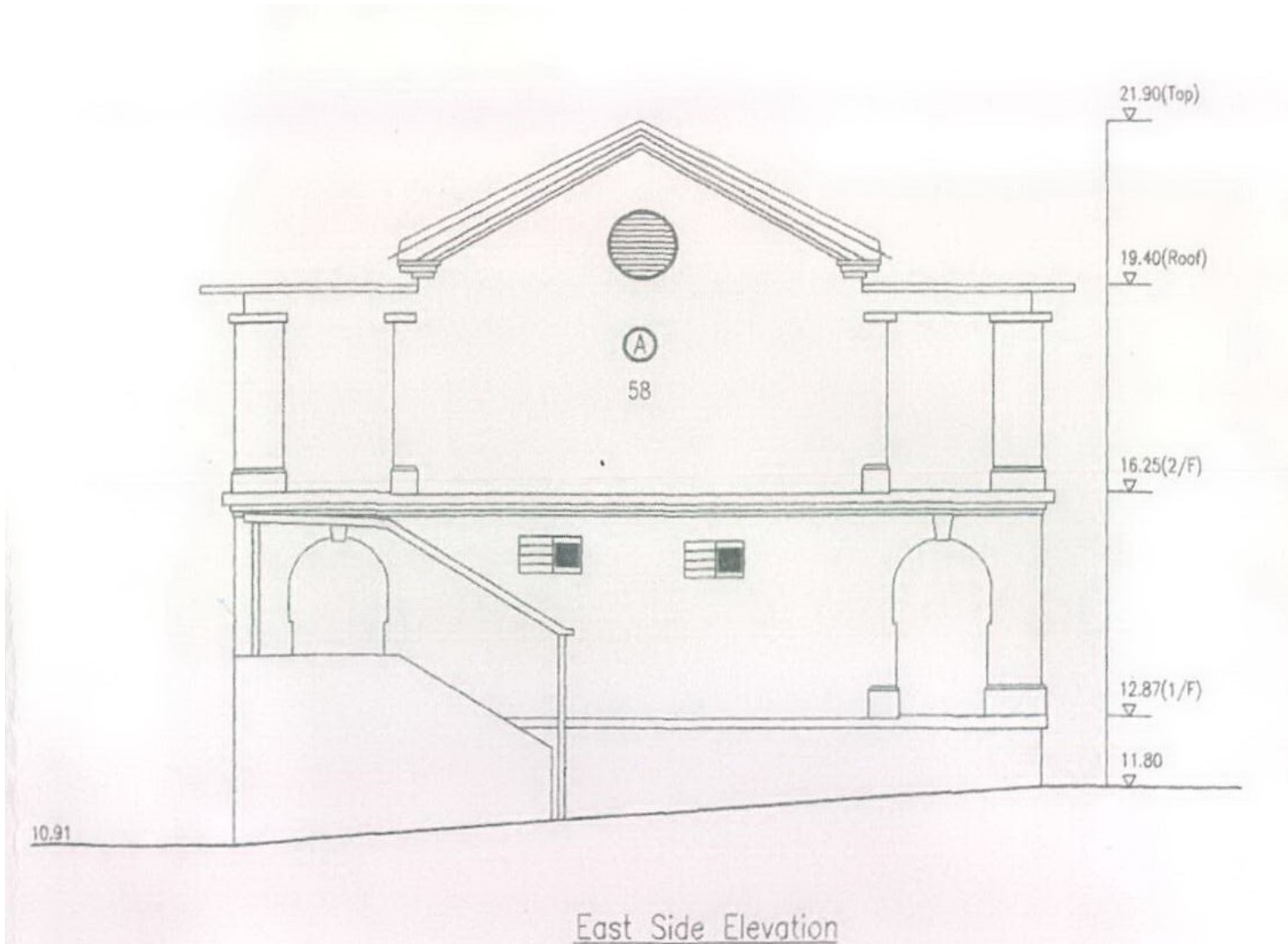
FIRST FLOOR PLAN

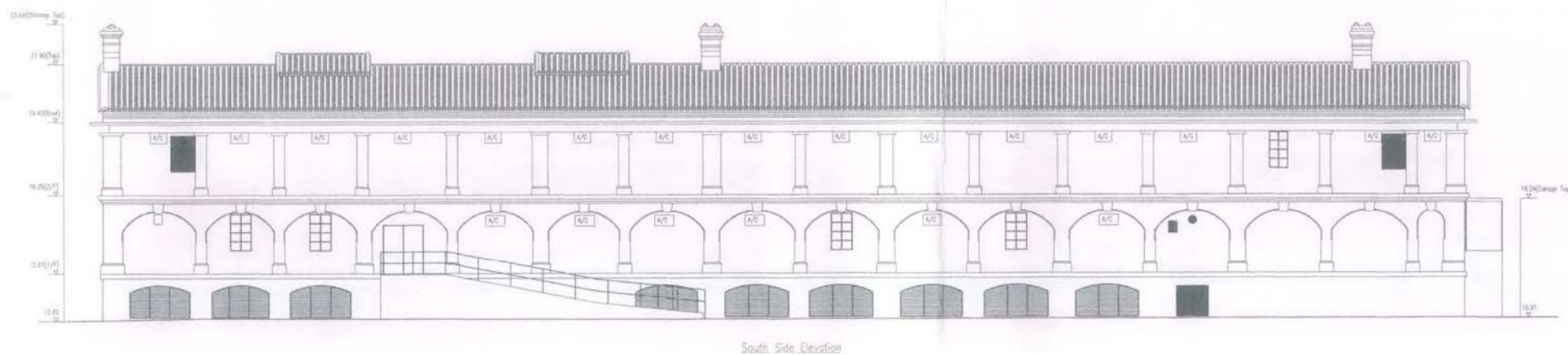


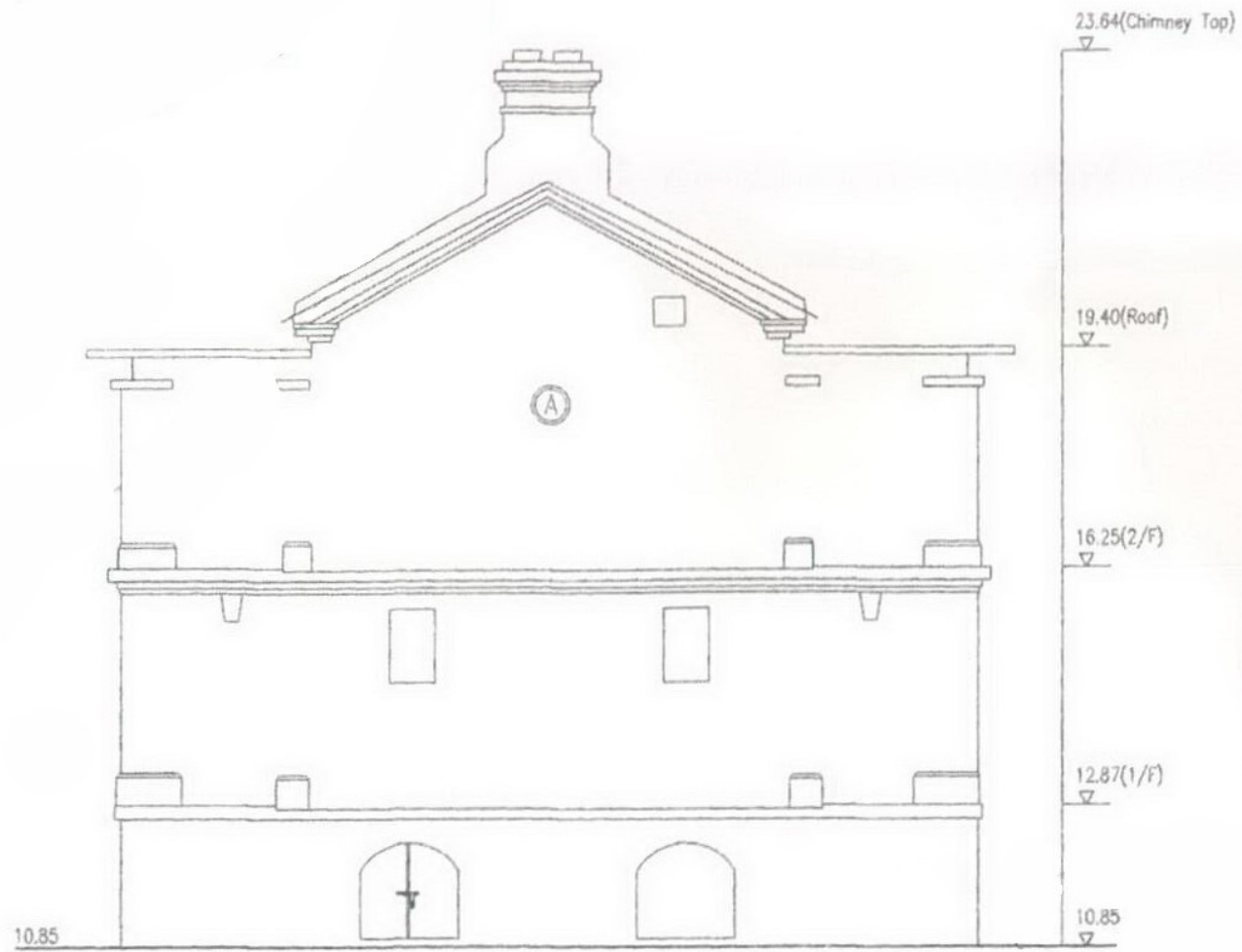
ROOF PLAN



North Side Elevation



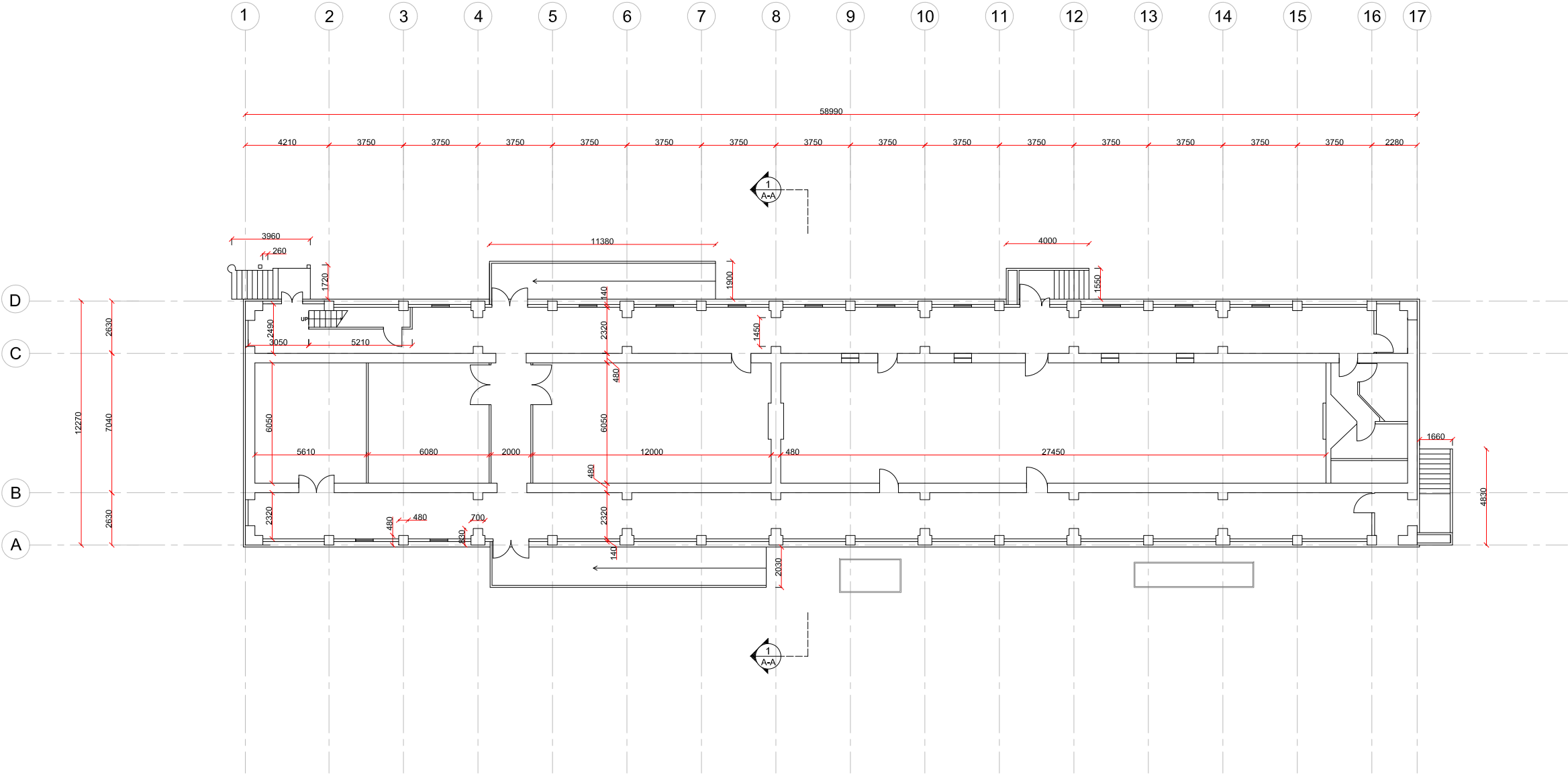




West Side Elevation

Appendix A.4

2023 Existing Plans of Block 58
(Source: Architectural Services Department)



GROUND FLOOR PLAN 1:250

LEGENDS:

MATERIALS:

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INITIAL	CHECKED BY	DATE	DRAWN BY	DATE
LATEST				

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Historic Building Diagnostic Investigation
and Surveys for Activity Centre for
Chinese History and Culture
Block 58, Kowloon Park

DRAWING TITLE:
Ground Floor Plan

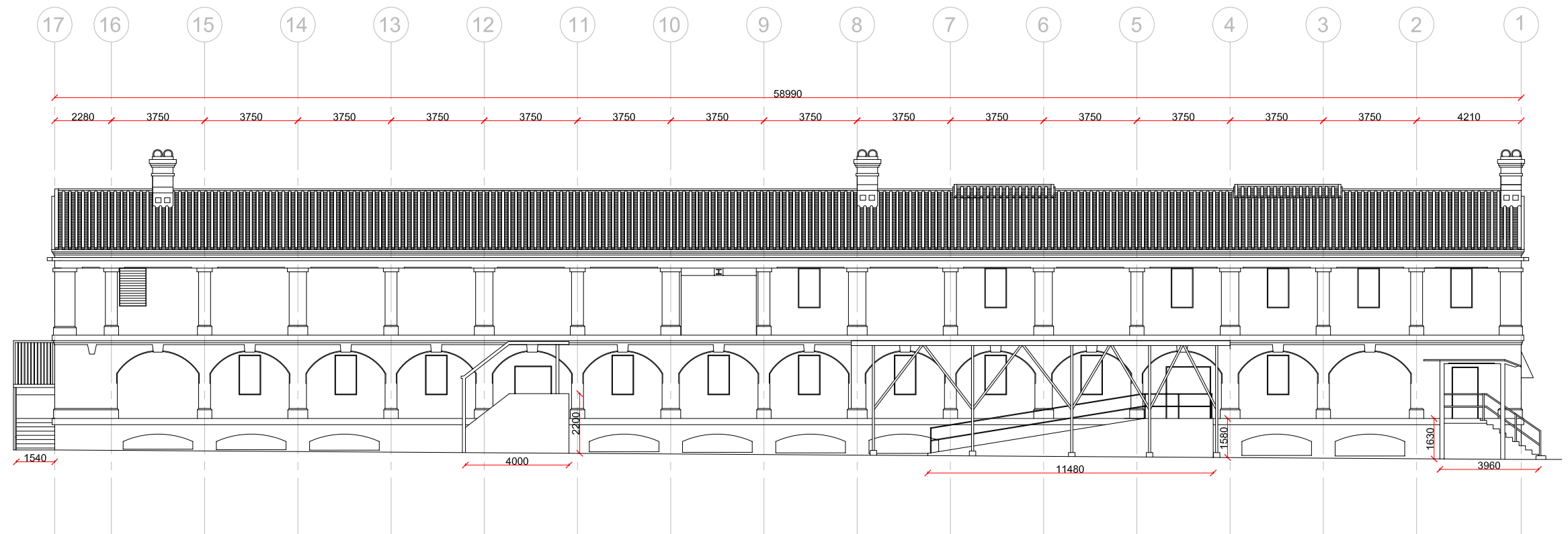
SCALE: 1:250 (A3)

DRAWING NO.:

CLIENT:
Architectural Services Department

CONSULTANT:
VIGERS
HONG KONG





NORTH ELEVATION 1:200

LEGENDS:

MATERIALS:

REV.	DESCRIPTION	DATE	DRAWN	CHK.
INITIAL				
LATEST				

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Historic Building Diagnostic Investigation
and Surveys for Activity Centre for Chinese
History and Culture
Block 58, Kowloon Park

DRAWING TITLE:
North Elevation

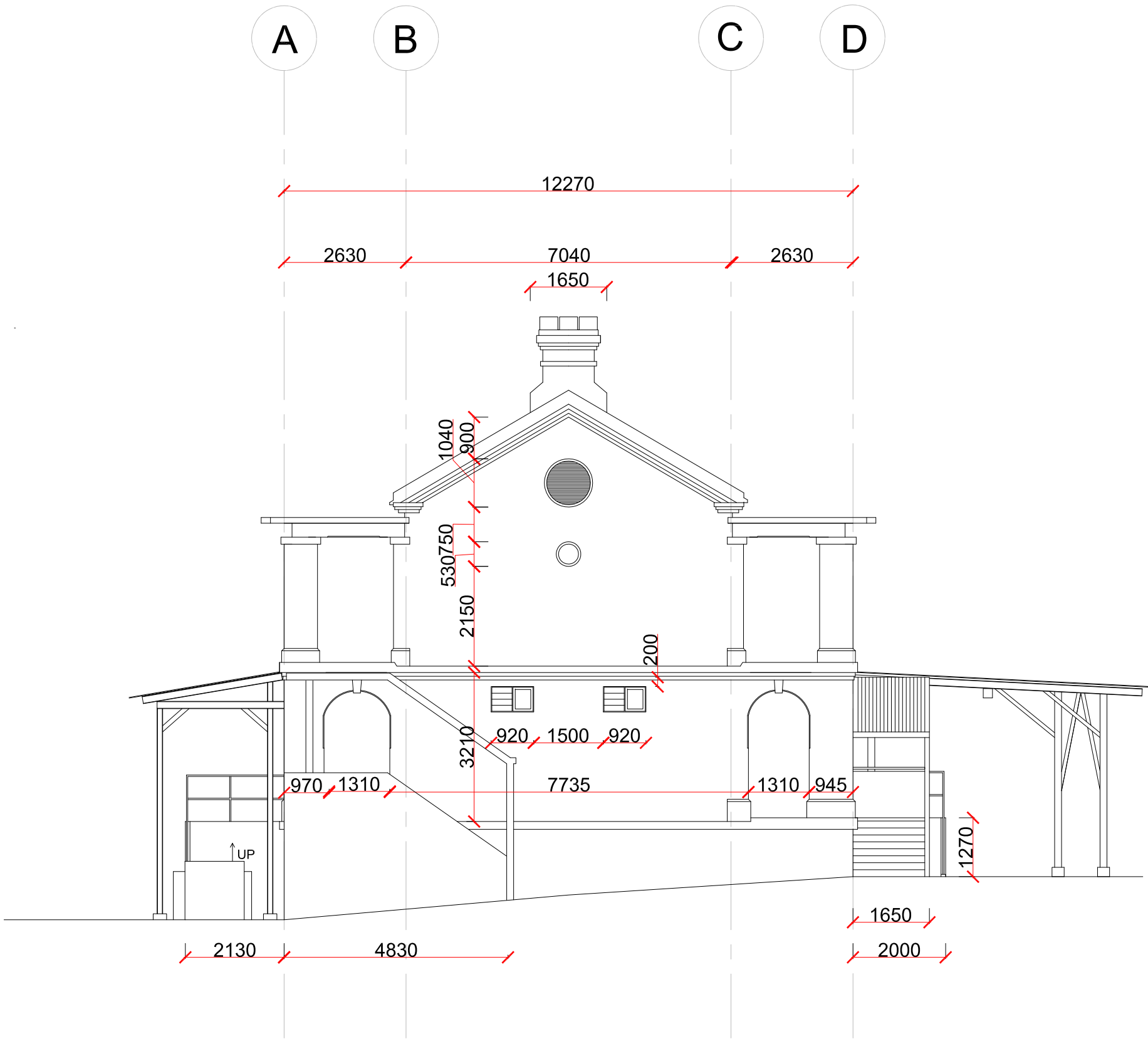
SCALE: 1:200 (A3)

DRAWING NO.:

CLIENT:
Architectural Services Department

CONSULTANT:

VIGERS
HONG KONG



EAST ELEVATION 1:100

LEGENDS:

MATERIALS:

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LATEST				

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Historic Building Diagnostic Investigation
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History and Culture
Block 58, Kowloon Park

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East Elevation

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DRAWING NO.:

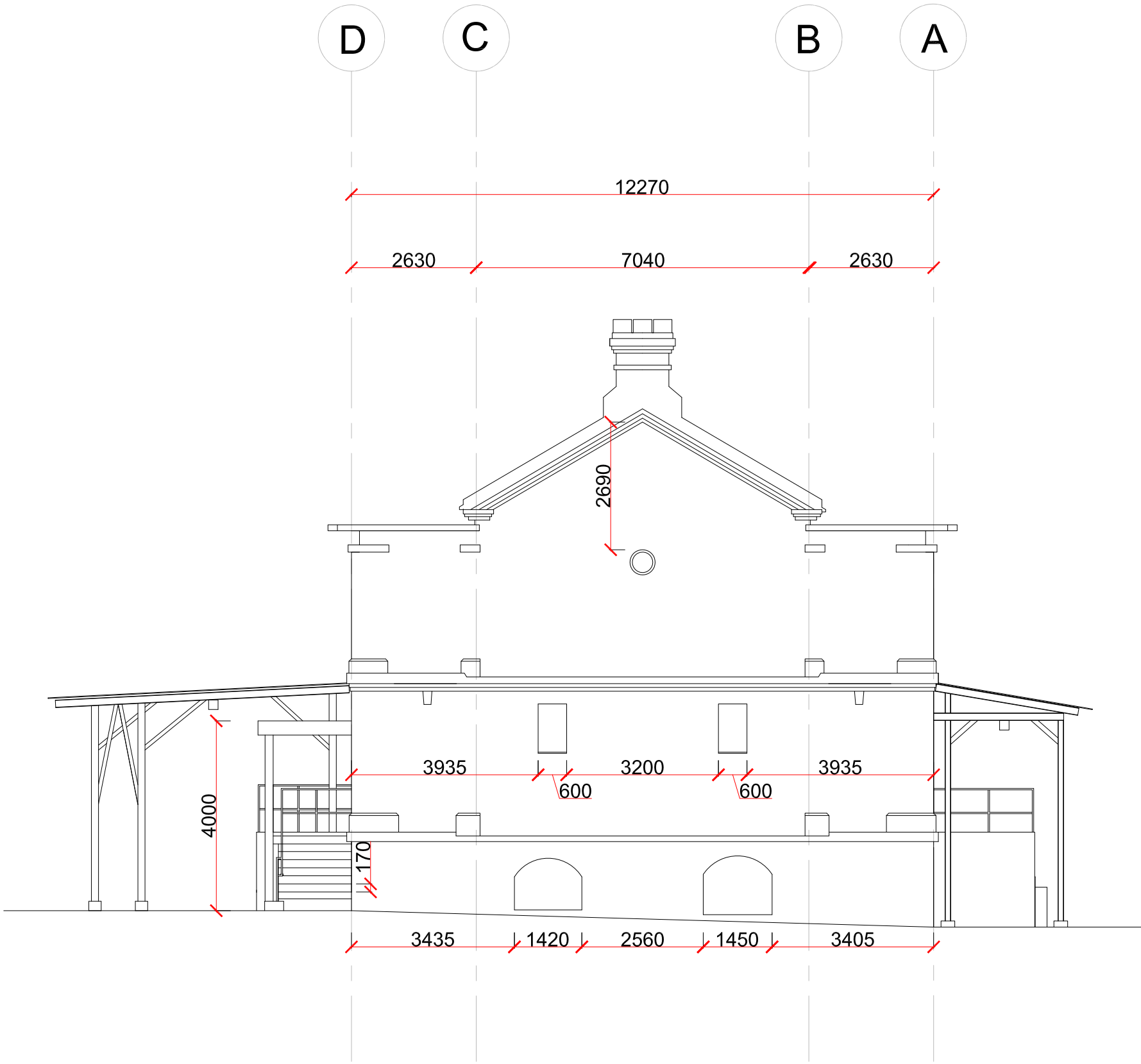
CLIENT:
Architectural Services Department

CONSULTANT:

VIGERS
HONG KONG



VIGERS
HONG KONG



WEST ELEVATION 1:100

LEGENDS:

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Historic Building Diagnostic Investigation
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History and Culture
Block 58, Kowloon Park

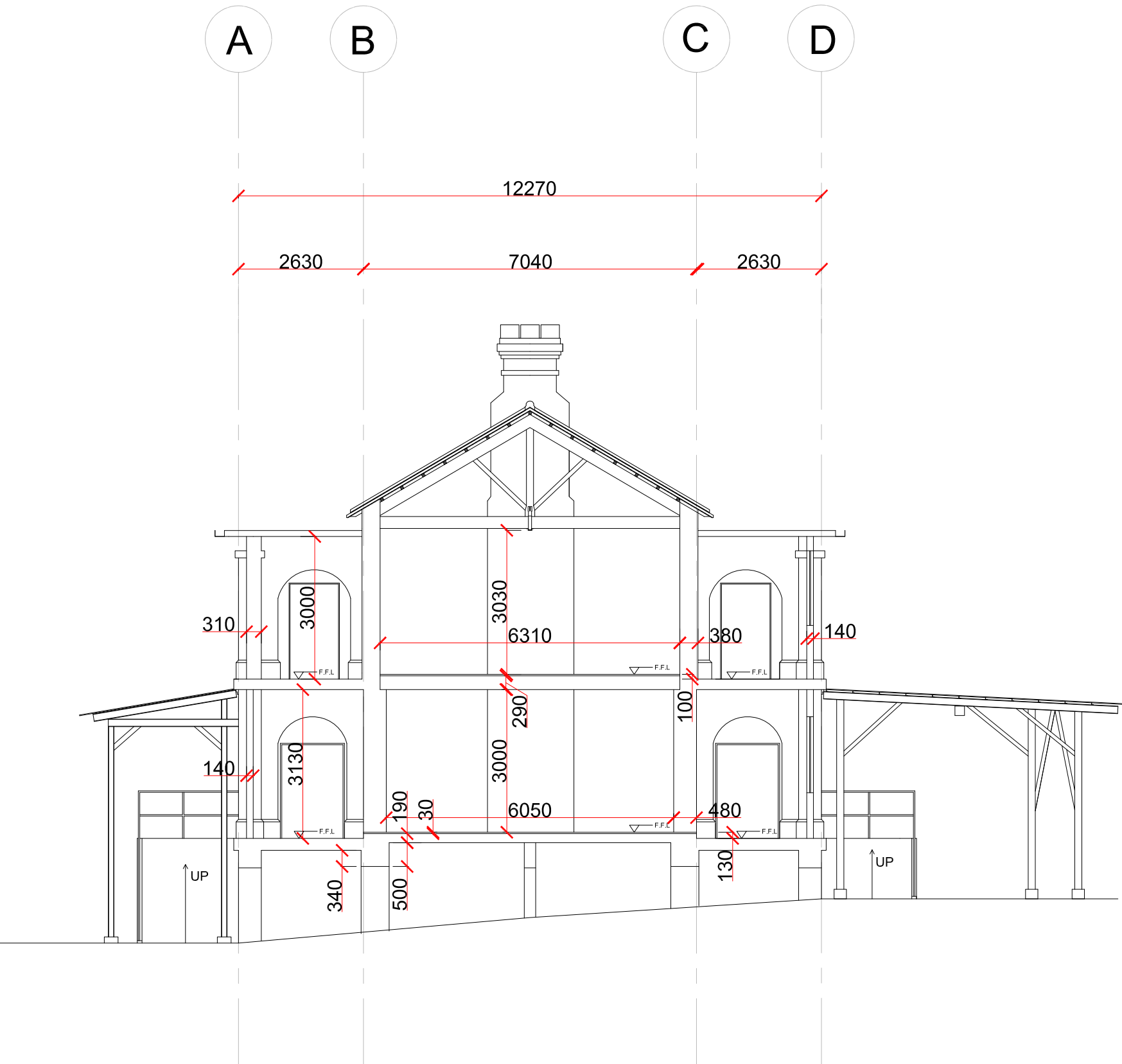
DRAWING TITLE:
West Elevation

SCALE: 1:100 (A3)

DRAWING NO.:

CLIENT:
Architectural Services Department

CONSULTANT:
VIGERS
HONG KONG



SECTION A-A 1:100

LEGENDS:

MATERIALS:

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INITIAL	CHECKED BY	DATE	DRAWN BY	DATE
LATEST				

PROJECT TITLE:
Historic Building Diagnostic Investigation
and Surveys for Activity Centre for Chinese
History and Culture
Block 58, Kowloon Park

DRAWING TITLE:
Section A-A

SCALE: 1:100 (A3)

DRAWING NO.:

CLIENT:
Architectural Services Department

CONSULTANT:

VIGERS
HONG KONG

MATERIALS:



PROJECT TITLE:

Historic Building Diagnostic Investigation
and Surveys for Activity Centre for Chinese
History and Culture
Block 58, Kowloon Park

DRAWING TITLE:
Section B-B

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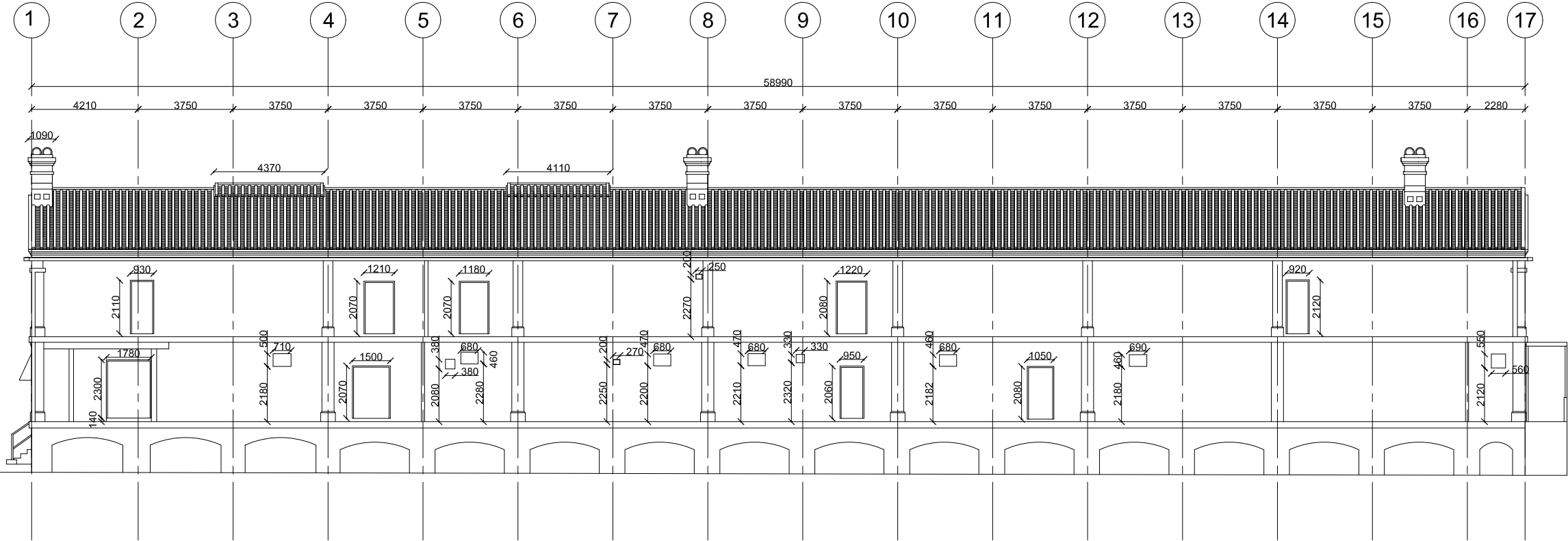
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CLIENT:

Architectural Services Department

CONSULTANT:

VIGERS
HONG KONG



SECTION C-C 1:200

LEGENDS:

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INITIAL				
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PROJECT TITLE:
Historic Building Diagnostic Investigation
and Surveys for Activity Centre for Chinese
History and Culture
Block 58, Kowloon Park

DRAWING TITLE:
Section C-C

SCALE: 1:200 (A3)

DRAWING NO.:

CLIENT:
Architectural Services Department

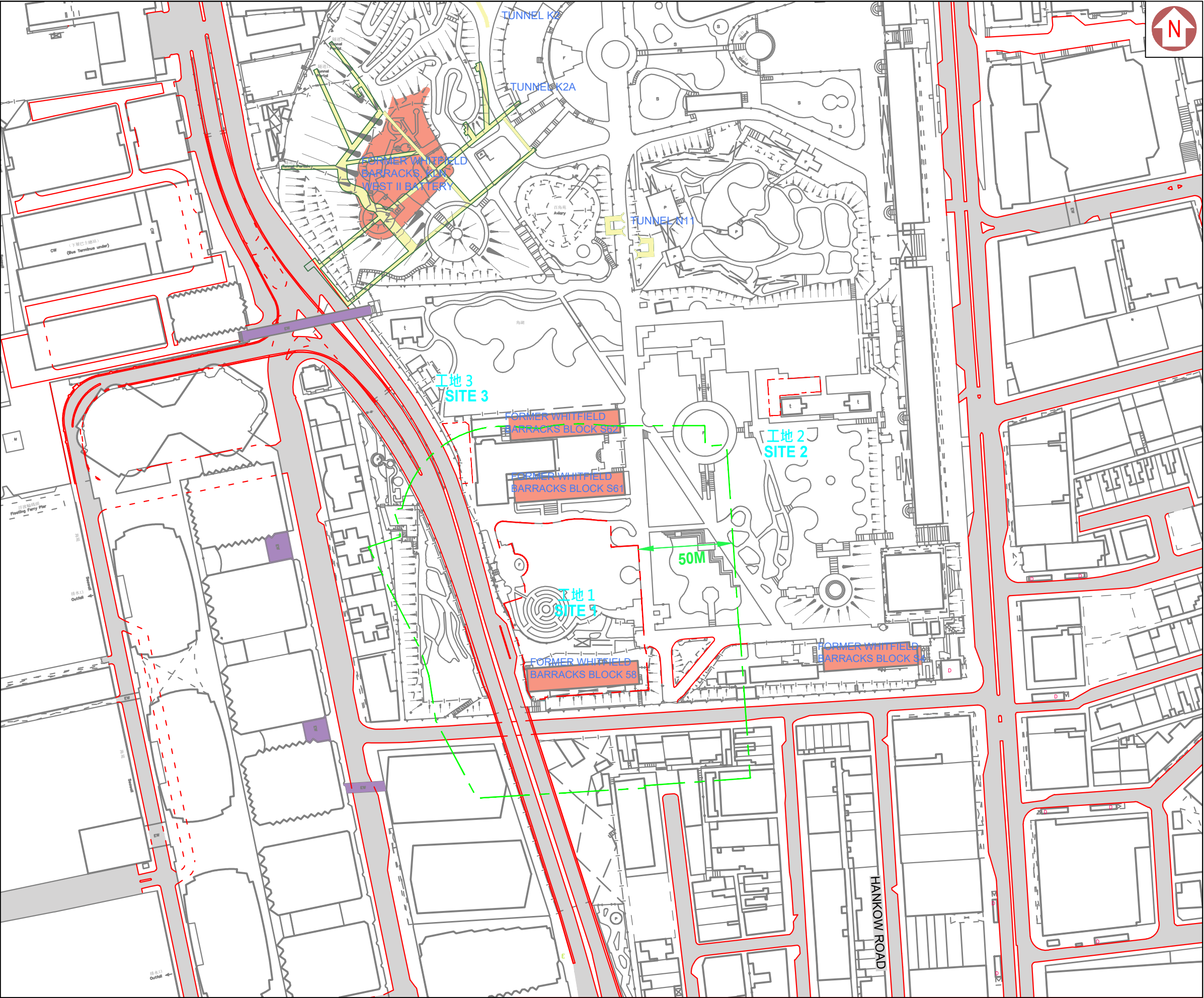
CONSULTANT:
VIGERS
HONG KONG

Appendix A.5

Proposed Plans, Sections and Elevations of the Activity Centre of the Promotion of Chinese History and Culture
(Source: Architectural Services Department)

圖例 LEGEND

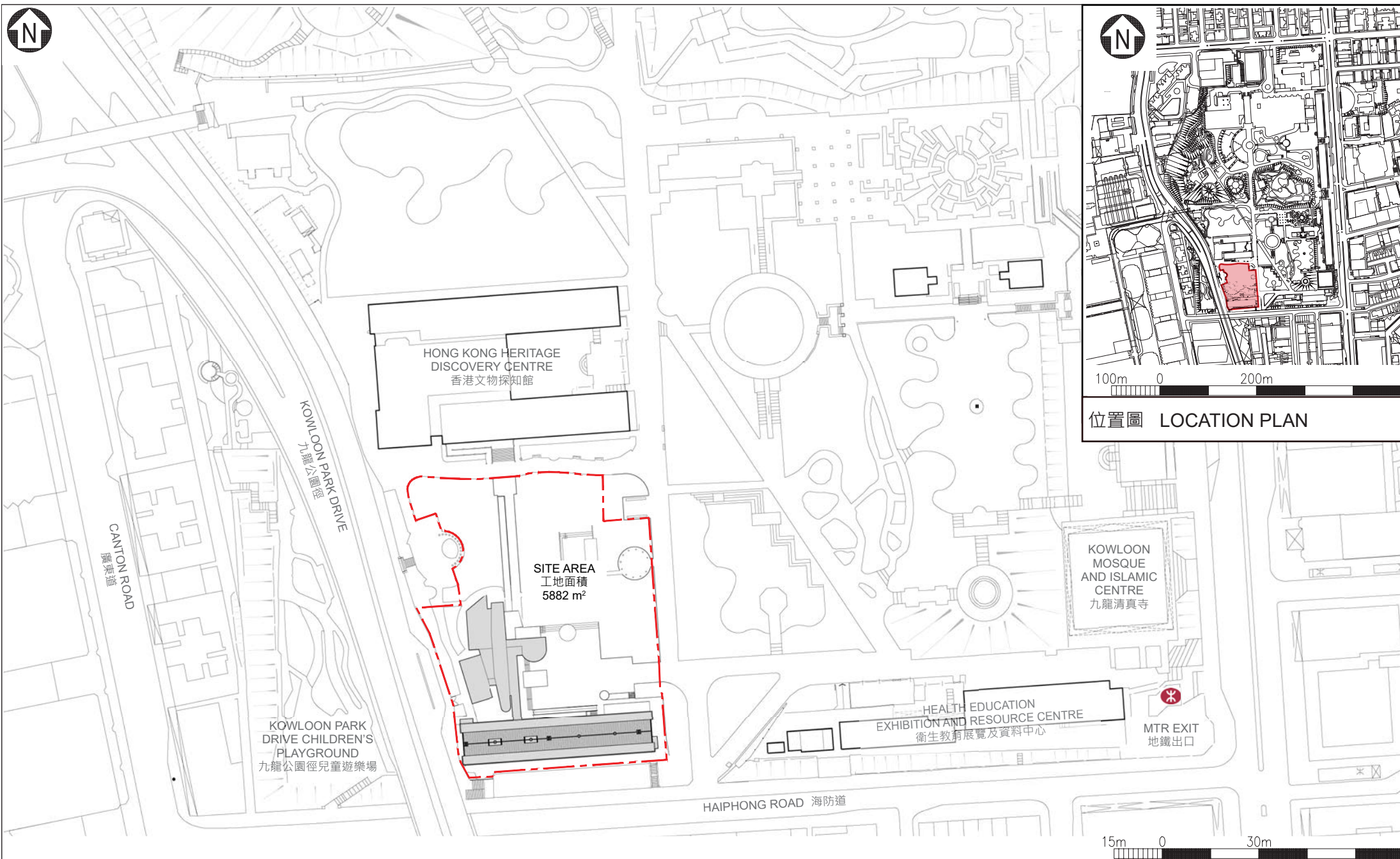
- THE PROJECT SITE
- HIA STUDY AREA
- GRADE 1 HISTORIC BUILDING
- DISUSED UNDERGROUND AIR RAID PRECAUTION TUNNELS



工地平面圖
SITE PLAN

583ZX
.....
ACTIVITY CENTRE FOR THE PROMOTION OF CHINESE HISTORY AND CULTURE

ARCHITECTURAL
SERVICES
DEPARTMENT 建築署

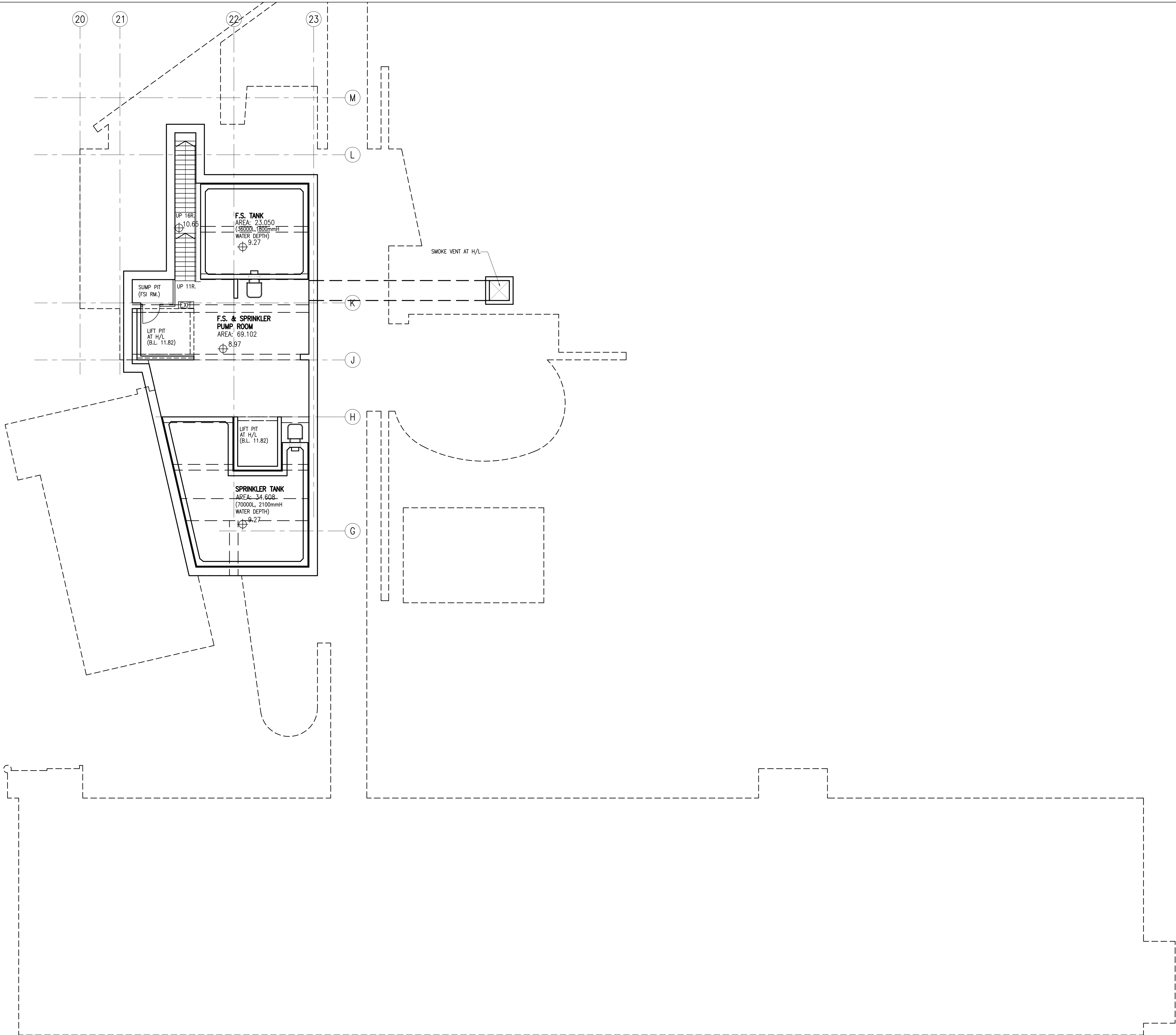


工地平面圖
SITE PLAN

在九龍公園設立中國歷史文化推廣活動中心
ACTIVITY CENTRE FOR THE PROMOTION OF CHINESE HISTORY AND
CULTURE IN KOWLOON PARK



ARCHITECTURAL
SERVICES
DEPARTMENT 建築署



NOTES

no.	date	description	initial
REVISION			
		name	date
designed		G. CHAN	
drawn		K.C. TO	
checked		Y.K. WONG	

approved			
Chief Architect	T. WAN	(CA/1)	
Senior Architect	D. LEUNG	(SA/11)	
Project Architect	G. CHAN	(A/105)	
		signed	date

contract no.	-
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file no.	
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project no.	583ZX
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contract
ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

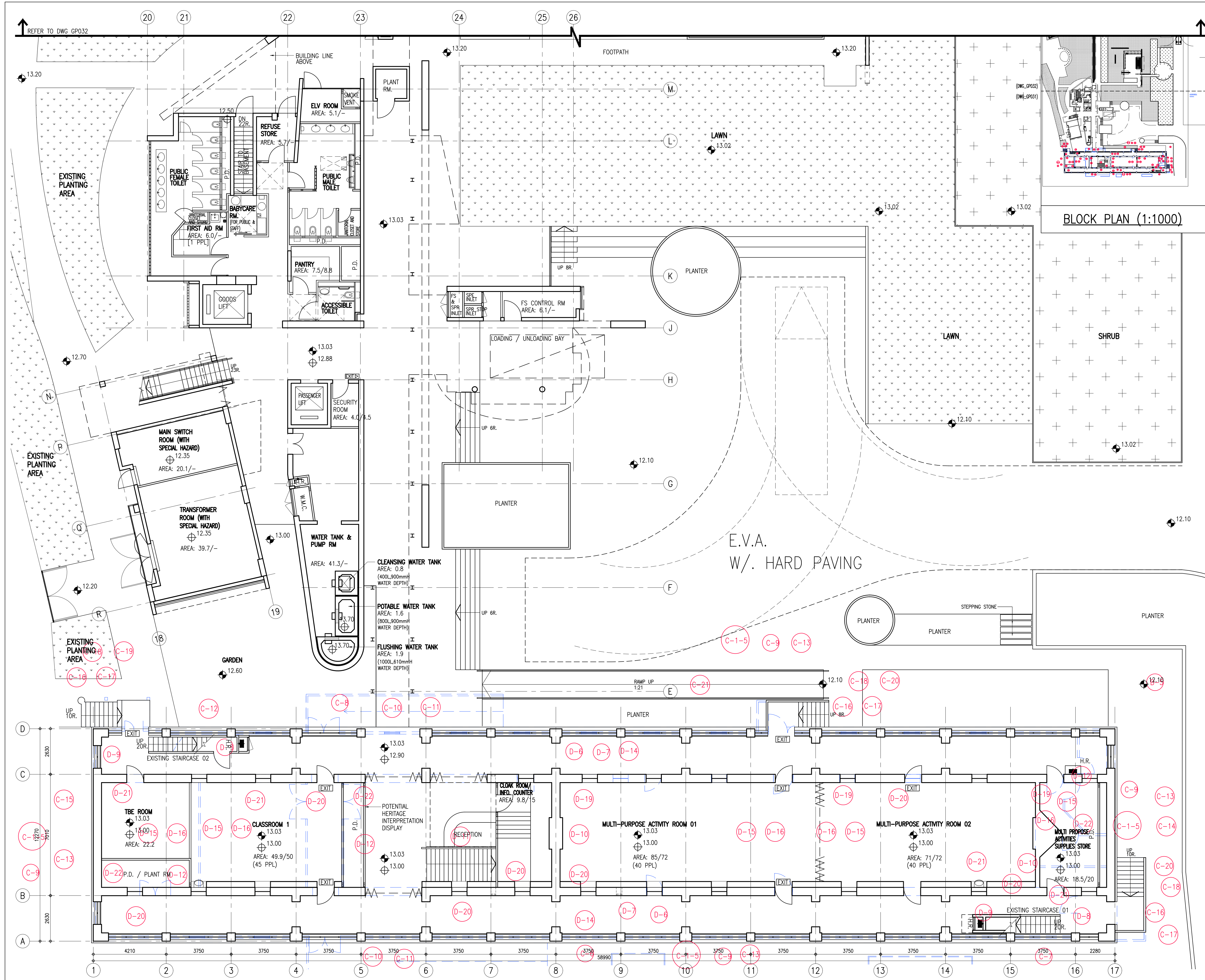
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SITE 1 –
BASEMENT FLOOR PLAN

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AB/8676/GP030	1:100

office
ARCHITECTURAL BRANCH



ARCHITECTURAL
SERVICES
DEPARTMENT



NOTES

no.	date	description	initial
REVISION			
designed		name	date
drawn		G. CHAN	
checked		K.C. TO	
approved		Y.K. WONG	

approved			
Chief Architect		T. WAN (CA/1)	
Senior Architect		D. LEUNG (SA/11)	
Project Architect		G. CHAN (A/105)	signed
			date

contract no. -

file no.

project no. 583ZX

contract
ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

drawing title
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PLAN
(FOR HIA REPORT)

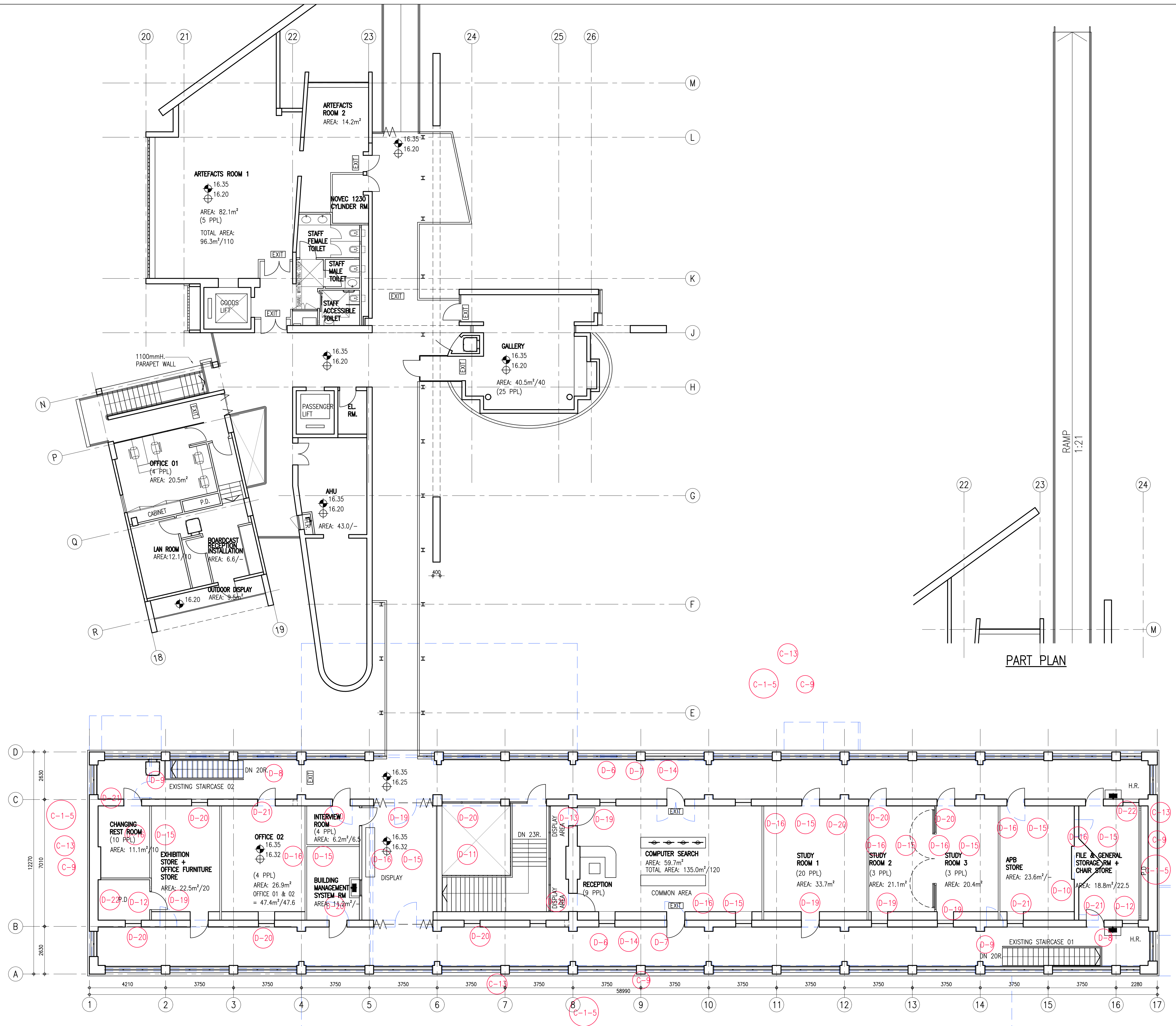
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scale
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office
ARCHITECTURAL BRANCH



ARCHITECTURAL
SERVICES
DEPARTMENT



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designed		G. CHAN	
drawn		K.C. TO	
checked		Y.K. WONG	
approved			
Chief Architect		T. WAN (CA/1)	
Senior Architect		D. LEUNG (SA/11)	
Project Architect		G. CHAN (A/105)	
		signed	date

contract no. -

file no.

project no. 583ZX

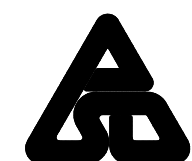
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ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

drawing title
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(FOR HIA REPORT)

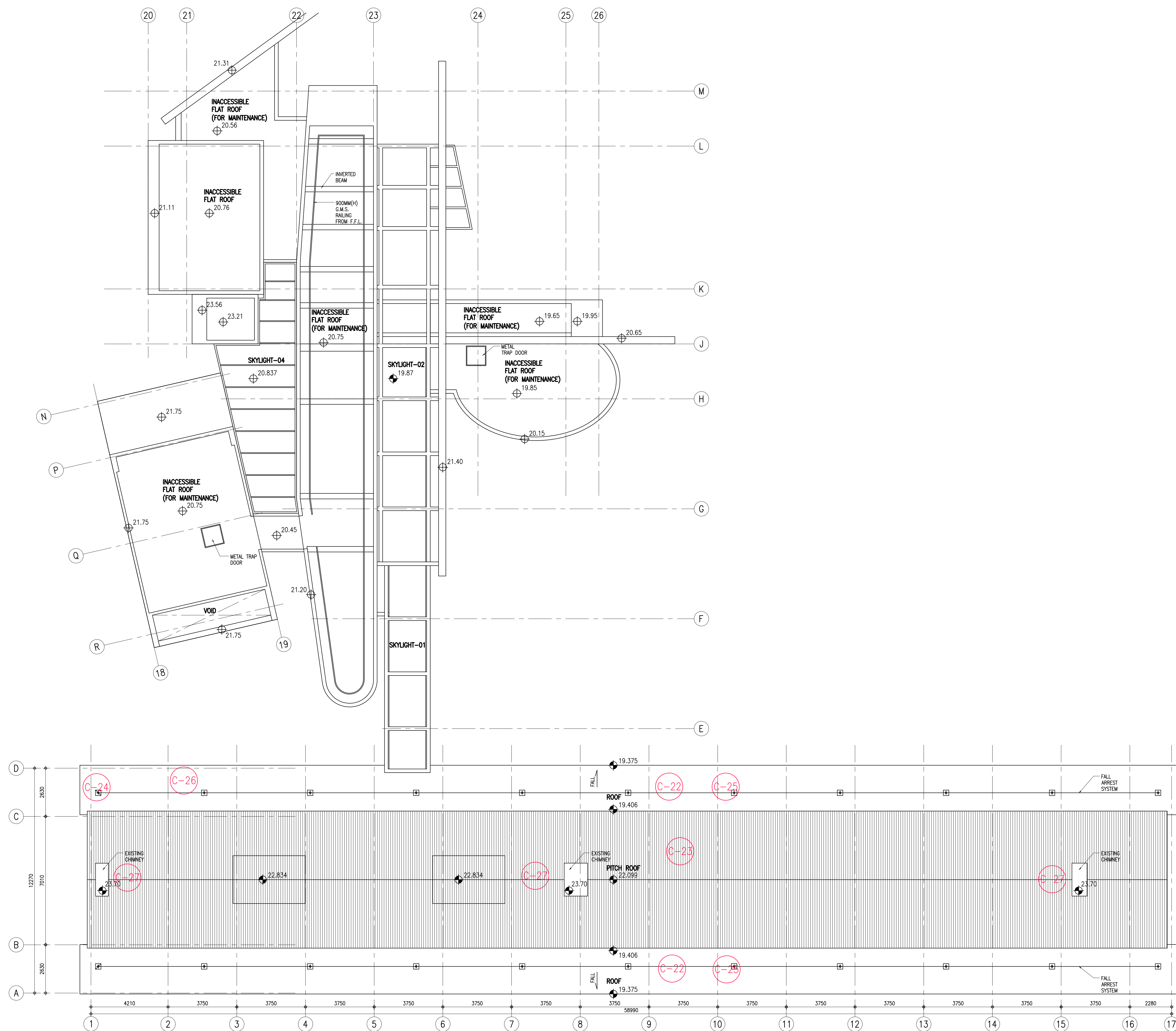
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office
ARCHITECTURAL BRANCH



ARCHITECTURAL
SERVICES
DEPARTMENT



NOTES

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REVISION			
		name	date
designed		G. CHAN	
drawn		K.C. TO	
checked		Y.K. WONG	
approved			
Chief Architect		T. WAN (CA/1)	
Senior Architect		D. LEUNG (SA/11)	
Project Architect		G. CHAN (A/105)	
		signed	date
contract no.		-	
file no.			
project no.		583ZX	

contract

ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

drawing title

SITE 1 – TOP ROOF PLAN

drawing no.
AB/8676/GP034

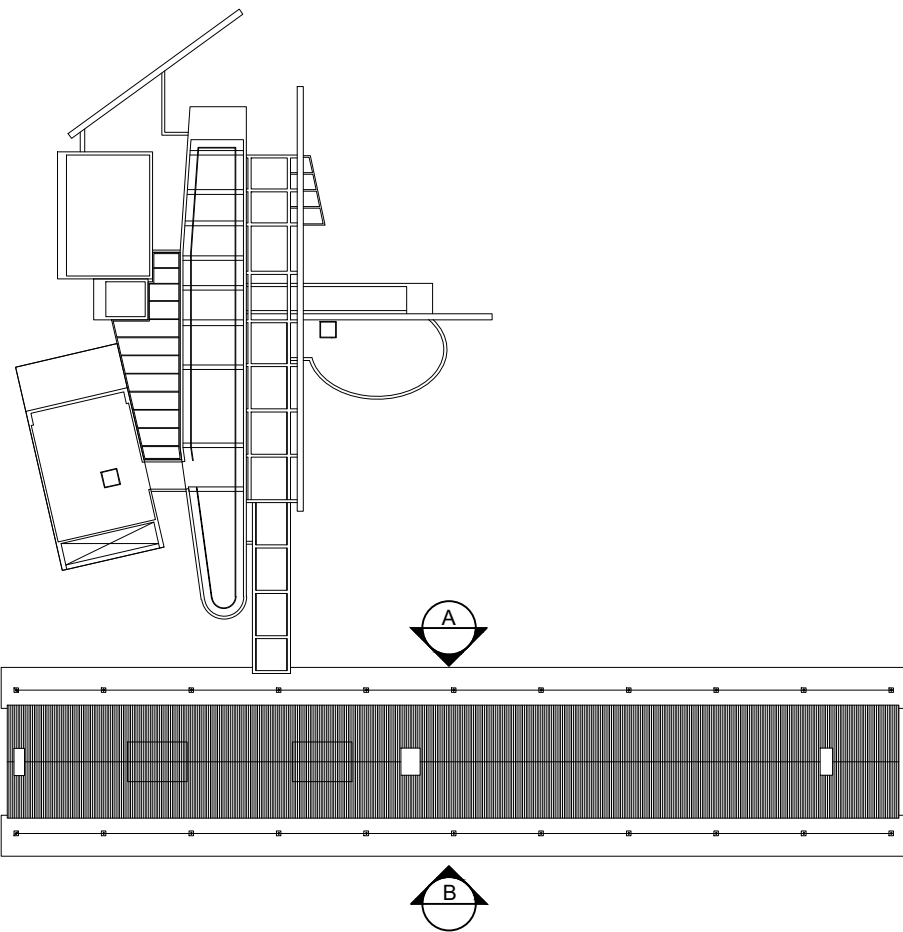
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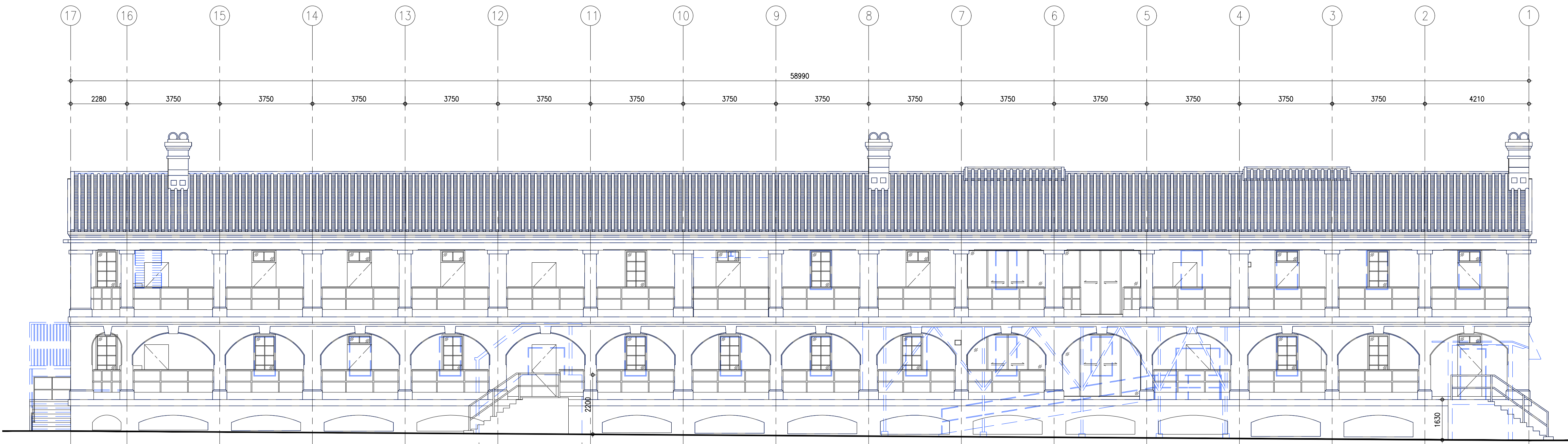
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ARCHITECTURAL
SERVICES
DEPARTMENT

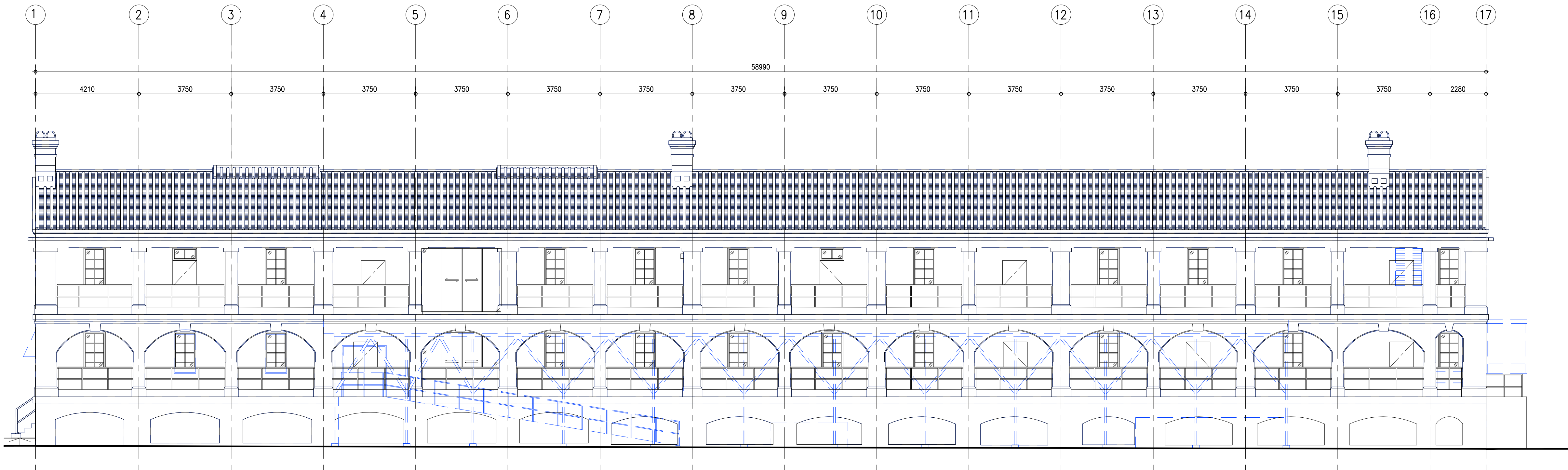


KEY PLAN

SCALE 1:1000



ELEVATION A



ELEVATION B

NOTES

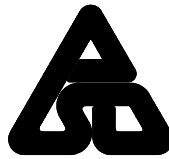
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checked		Y.K. WONG	
approved			
Chief Architect		T. WAN (CA/1)	
Senior Architect		D. LEUNG (SA/11)	
Project Architect		G. CHAN (A/105)	
		signed	date

contract no.	-
file no.	
project no.	583ZX
contract	ACTIVITY CENTER FOR THE PROMOTION OF CHINESE HISTORY AND CULTURE

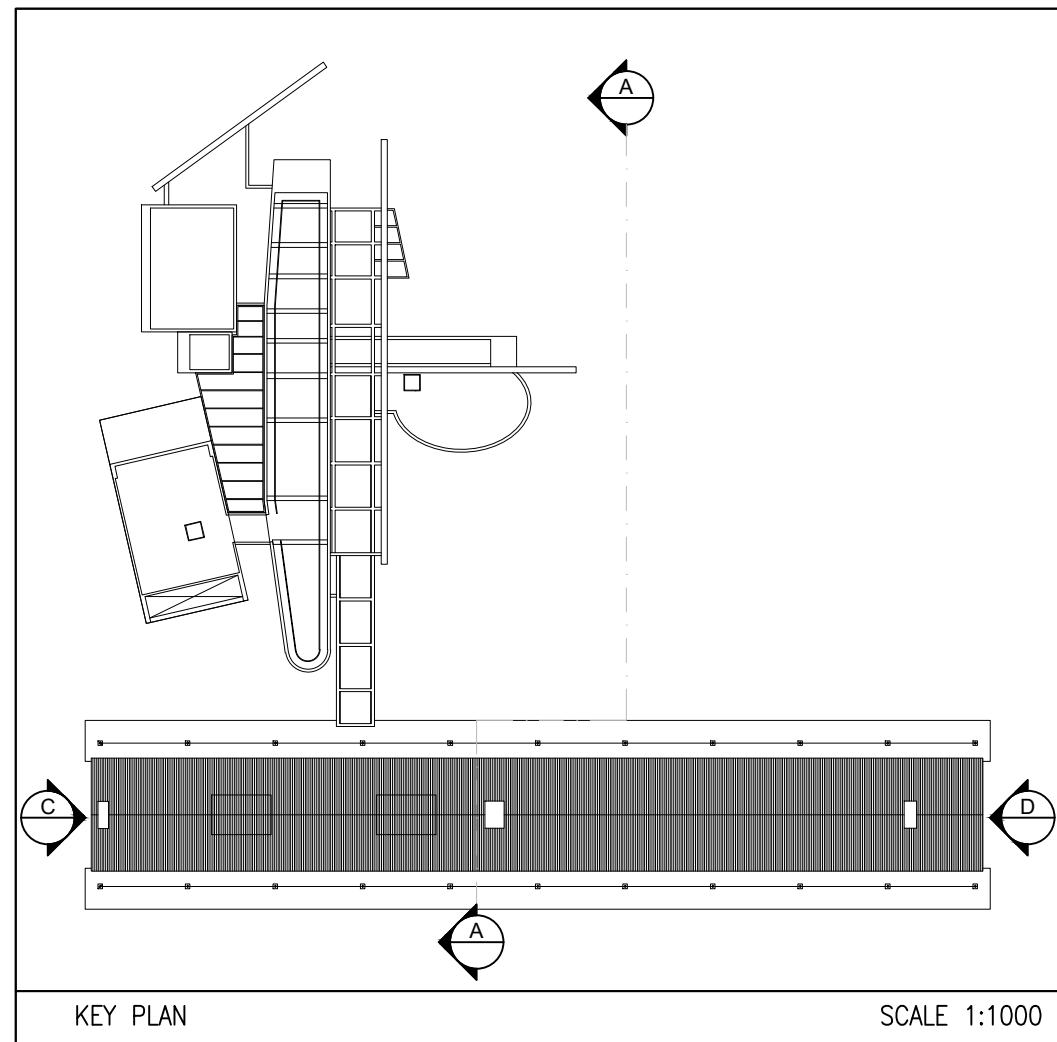
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ELEVATION A & B

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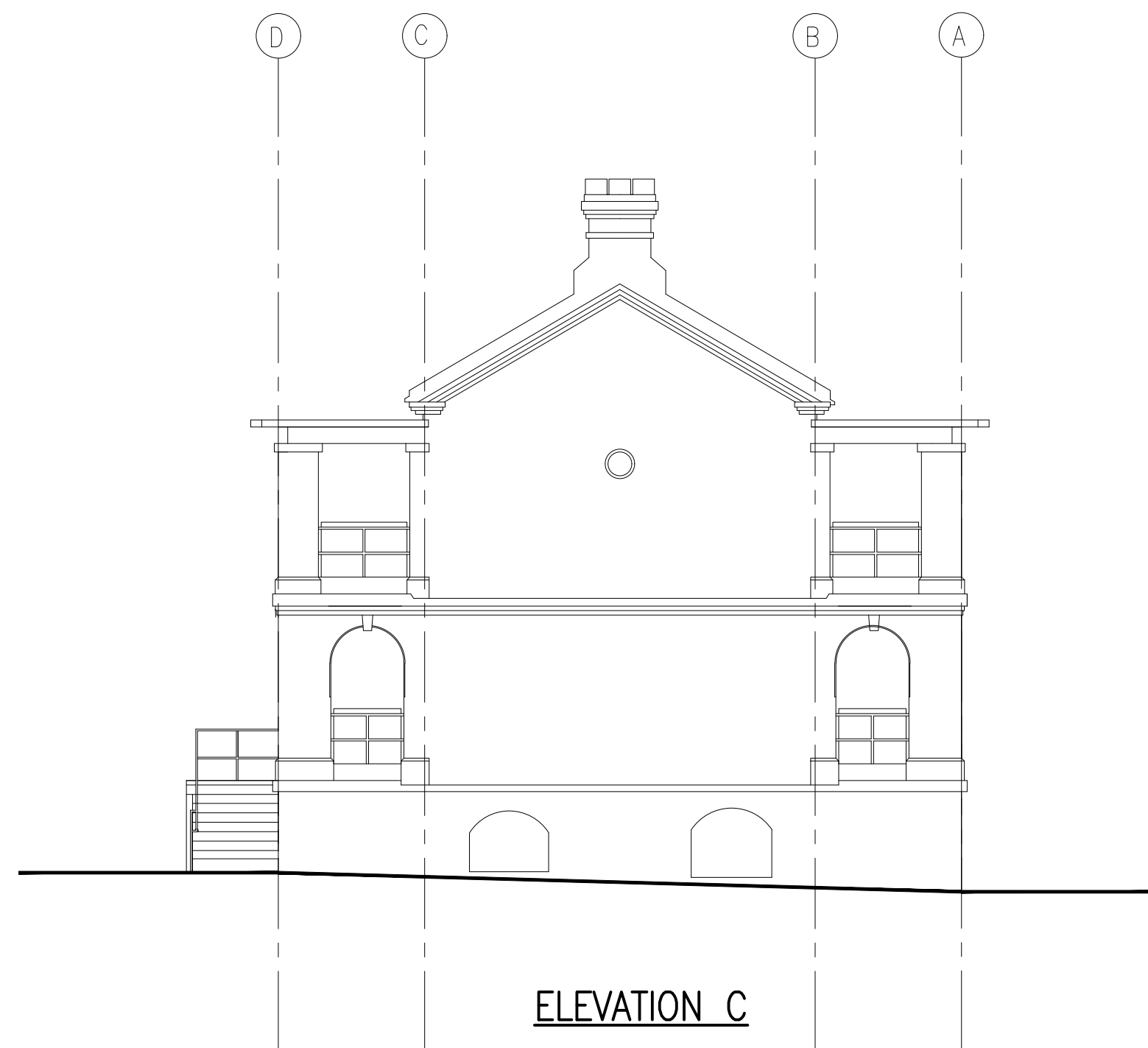
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ARCHITECTURAL BRANCH



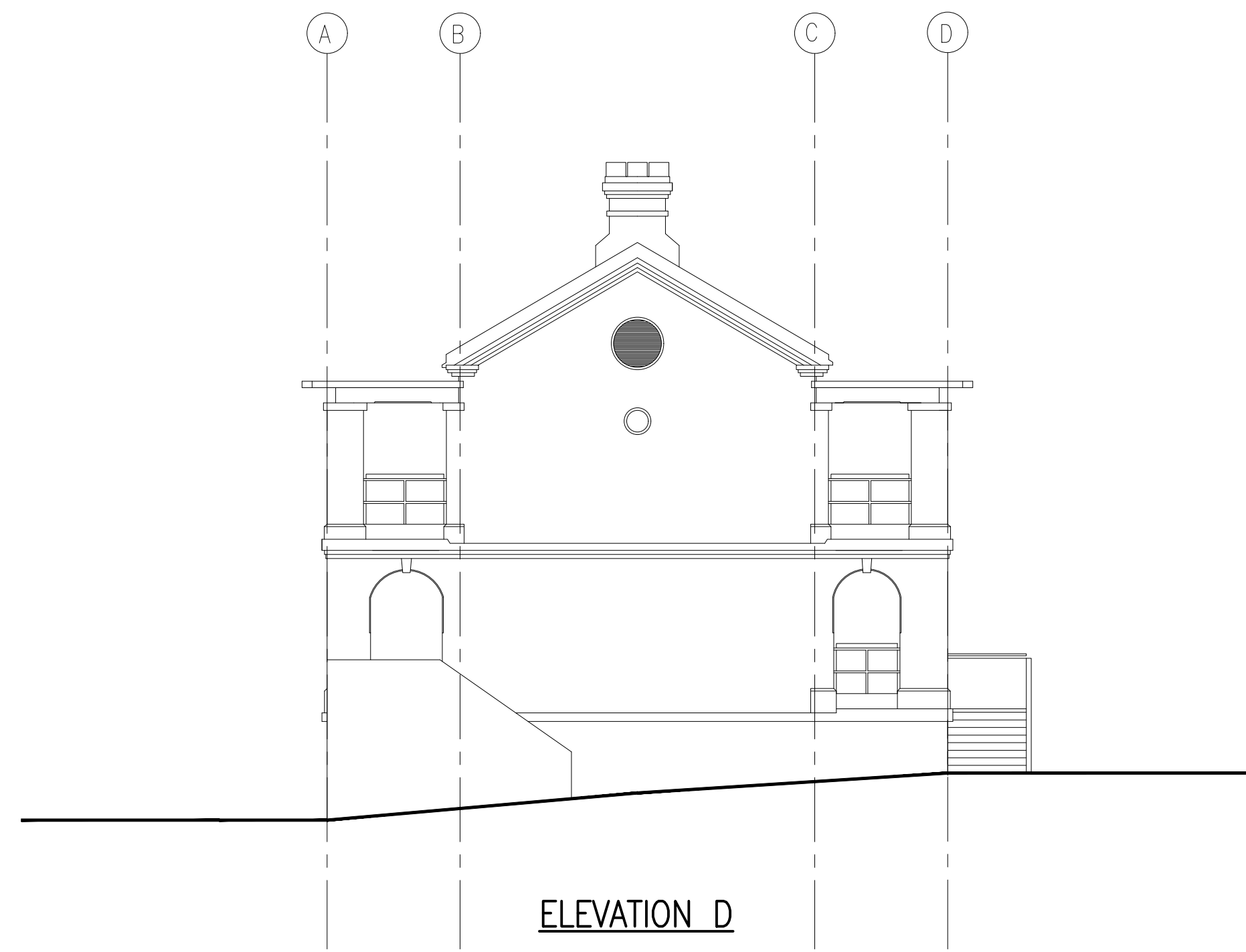
ARCHITECTURAL
SERVICES
DEPARTMENT



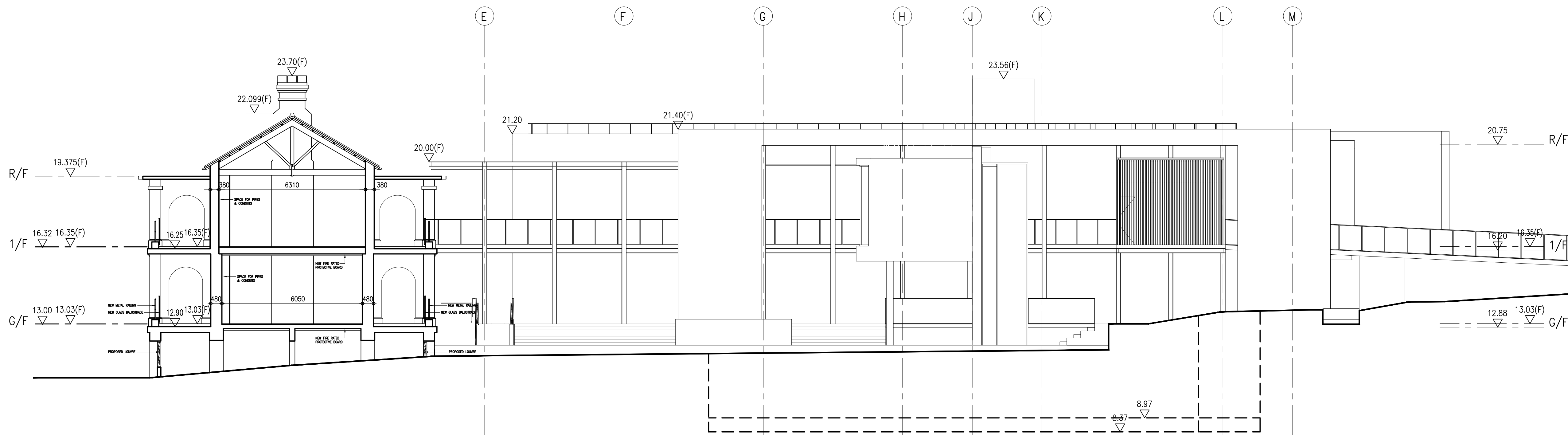
KEY PLAN SCALE 1:1000



ELEVATION C



ELEVATION D



SECTION A-A

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drawn		K.C. TO	
checked		Y.K. WONG	

approved	
Chief Architect	T. WAN (CA/1)
Senior Architect	D. LEUNG (SA/11)
Project Architect	G. CHAN (A/105)
	signed
	date

contract no. -

file no.

project no. 583ZX

contract
ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

drawing title
SITE 1 -
ELEVATION C & D AND
SECTION A-A

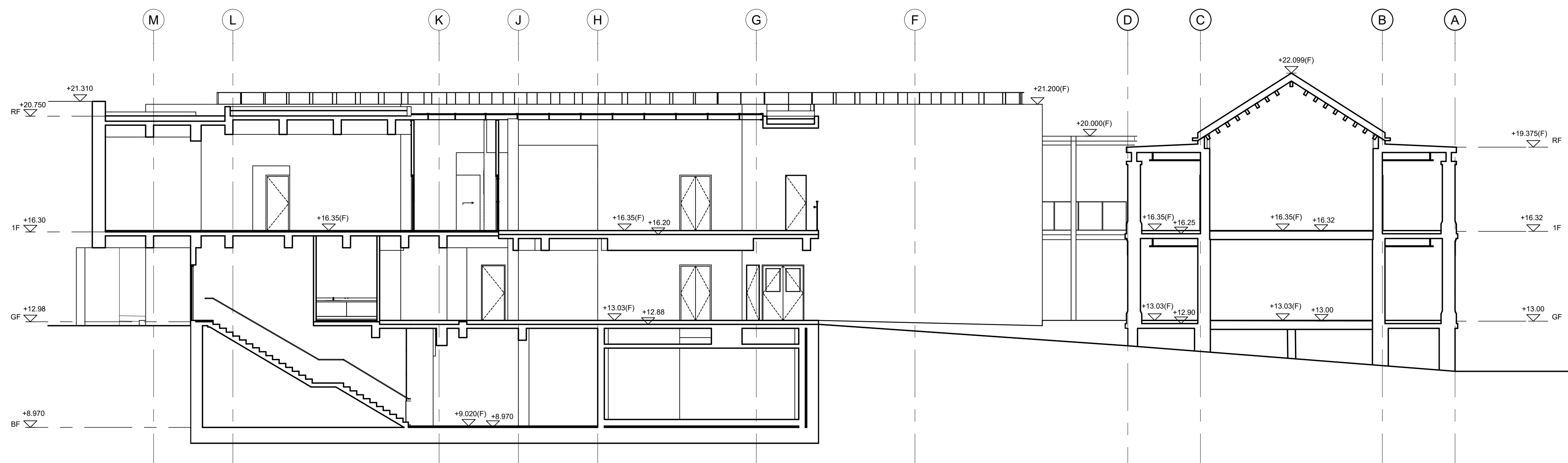
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scale
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office
ARCHITECTURAL BRANCH



ARCHITECTURAL
SERVICES
DEPARTMENT



SECTION B-B

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no.	date	description	initial
REVISION			
		name	date
designed		G. CHAN	
drawn		K.C. TO / C.Y. NG	
checked		Y.K. WONG	

Senior Architect D. LEUNG (SA/12)
Project Architect G. CHAN (A/105)
signed dated

project no. & title
ACTIVITY CENTRE FOR
THE PROMOTION OF
CHINESE HISTORY AND
CULTURE

drawing title
SITE 1 - SECTION B-B

drawing no.	scale
AB/8676/HIA03	1:100

office
ARCHITECTURAL BRANCH



ARCHITECTURAL
SERVICES
DEPARTMENT



KEY PLAN SCALE 1:100

SCALE 1:1000



NOTES

C: ORIGINALLY WINDOW. ONCE BLOCKED/ CHANGED TO DOOR/ WIDTH ALTERED, TO BE RESTORED AS WINDOW

D: ORIGINALLY WINDOW. ONCE BLOCKED, CHANGED TO DOOR/ WIDTH ALTERED. TO BE CHANGED TO DOOR WITH ORIGINAL WINDOW WIDTH RESTORED.

E: ORIGINALLY DOOR, TO BE KEPT AS DOOR

F: ORIGINALLY DOOR, ONCE BLOCKED. CHANGED TO WINDOW/ WIDTH ALTERED. TO BE RESTORED AS DOOR WITH ORIGINAL WIDTH RESTORED

G: LATER OPENED WINDOW/ DOOR. TO BE BLOCKED TO RESTORE WALL. (0-12)

H: ORIGINAL WINDOW/ DOOR OPENING. ONCE DISTURBED, TO BE CHANGED TO DOOR WITH WIDENED WIDTH FOR CIRCULATION ENHANCEMENT

ACTIVITY CENTER FOR THE
PROMOTION OF CHINESE
HISTORY AND CULTURE

drawing title

SITE 1 —
INTERNAL ELEVATION A & B
(FOR HIA REPORT)

office

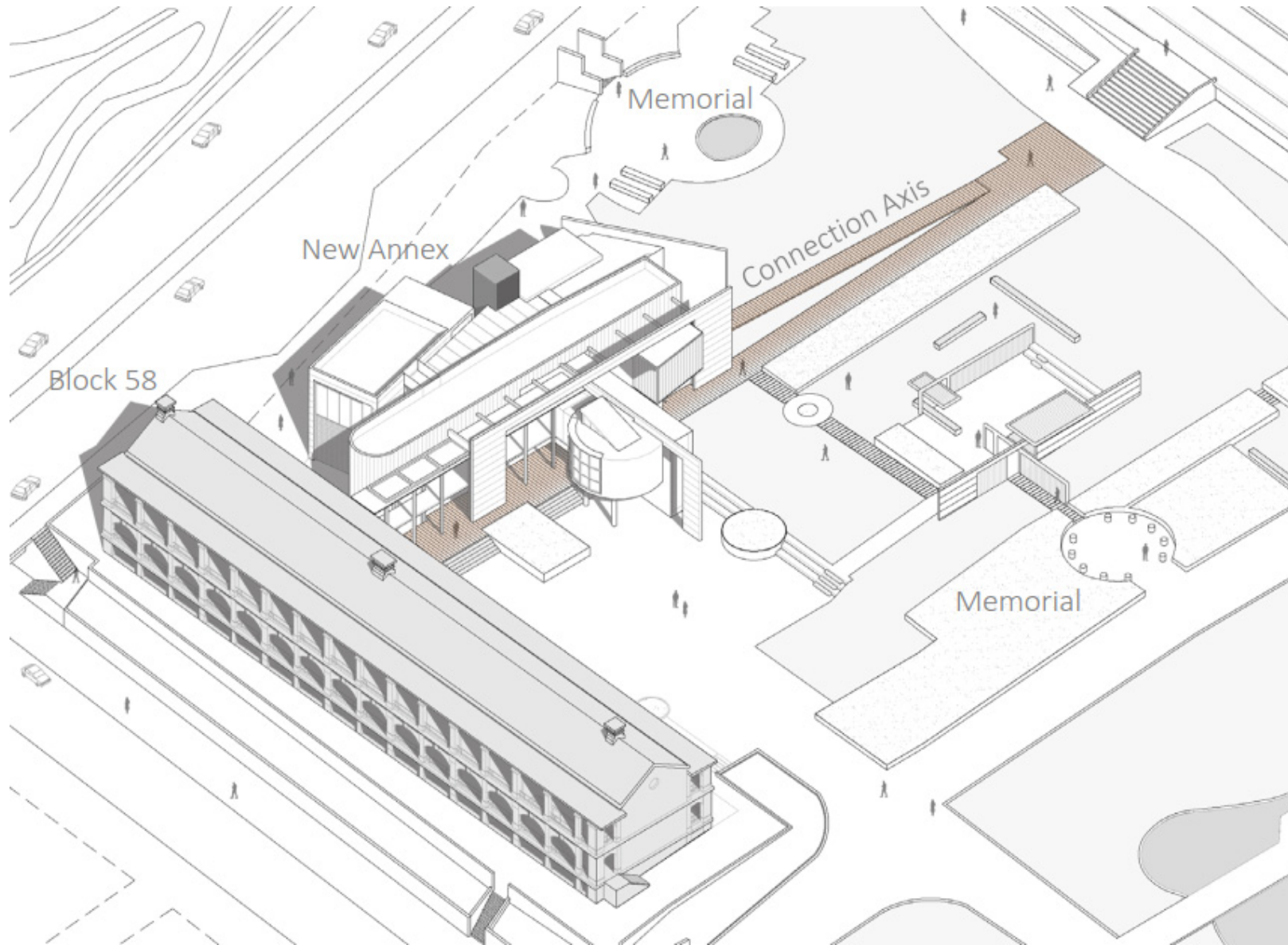
ARCHITECTURAL BRANCH



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Appendix A.6

Artistic Impressions of the Activity Centre of the Promotion of Chinese History and Culture



Overall disposition (Axonometric view)



View of Block 58 from Haiphong Road park entrance (fencing on top of slope not shown for clarity)



View of Block 58 and New Annex from the new entrance plaza

Block 58 – Repair using the existing material only.



New Annex



GMS
painted



Fair faced concrete in
different patterns



GFRC cladding

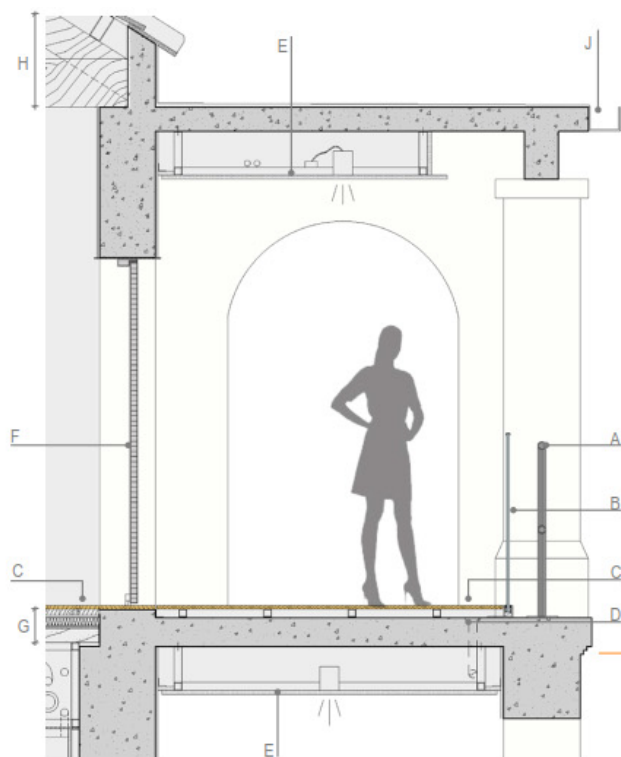


Translucent
glass



GMS fins

Proposed finishing material for Block 58 and New Annex



• Section of the 1/F open corridor of Block 58. (Similar for G/F)



- A. Reconstruction of GMS railing in similar style to the old railing
- B. 1100mm (H) glass balustrade
- C. New Timber deck/ floor
- D. Drain point
- E. New cement board false ceiling
- F. New GMS door
- G. Existing timber structure
- H. Existing timber truss
- J. Gutter



Similar to the remaining portion of old metal railing.

View of Block 58 Verandah



View of the proposed reception lobby (G/F) in Block 58



View of the proposed reception lobby (1/F) in Block 58



View of the proposed multi-purpose room in Block 58 (FRP enhancement option 1)



View of the proposed multi-purpose room in Block 58 (FRP enhancement option 2)



View of the proposed study room in Block 58