

**HERITAGE IMPACT ASSESSMENT FOR
THE CONVERSION OF
OLD WAN CHAI POLICE STATION
INTO THE HEADQUARTERS OF AN INTERNATIONAL
INTER-GOVERNMENTAL ORGANIZATION**



Applicant:
ARCHITECTURAL SERVICES DEPARTMENT

Heritage Consultant:
AGC DESIGN LTD

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1.0 INTRODUCTION

1.1 Project Brief

This conversion project aims to assist achieving the objectives of the project client to enhance Hong Kong's status as a leading international hub for deal-making and dispute resolution in the Asia-Pacific region. With a view to strengthening Hong Kong as an international legal and dispute resolution services centre in the Asia Pacific region, the project client has been discussing the possibility of establishing a new international inter-governmental organization, the International Organization for Mediation (IOMed) in Hong Kong.

To strive to set up the headquarters of the IOMed in Hong Kong, the Old Wan Chai Police Station (OWCPS), a Grade 2 historic building constructed in 1932 and is now for temporary internal office used by Hong Kong Police Force (HKPF), has been identified as a suitable site. In order to meet the planned timetable, there is a plan to convert this historic building for accommodation use by the IOMed and related purposes by end-2025. To facilitate this, we need to take forward renovation works for OWCPS to make it suitable for office and related uses by the IOMed.

The OWCPS is located at No.123 Gloucester Road, abutting Jaffe Road at the back, in between Fleming Road and Stewart Road, Wan Chai. The OWCPS will be returned to the Government for reallocation. Improvement works to comply with current statutory building requirements and standards are needed. The Architectural Services Department (ArchSD) of the Hong Kong Special Administrative Region is the Government works agent to carry out the improvement work. The proposed scope comprises of renovation, alteration, conservation, restoration works, site surveying, improvement of barrier-free access provision and internal fitting out works at the project site. According to Development Bureau Technical Circular (Works) No. 1/2022, OWCPS is a Grade 2 historic building which is classified as heritage site and hence a Heritage Impact Assessment (HIA) is required.



Fig 1.1 Old Wan Chai Police Station 2023 [by author]

1.2 Scope of the HIA

Description of Project Scope

Over the years, the OWCPS has been renovated and altered for several times to suit the changing operational needs of HKPF, which is the current user department.

The OWCPS will be renovated for adaptive re-use as the Headquarters of IOMed. Detailed scope of works will be listed in latter sections.

The submission of HIA to the satisfaction of AAB and Antiquities and Monuments Office (AMO) should be made prior to commencement of any major works and implementation of the plan. The HIA would present the conservation approach of the project, evaluate the impacts of the renovation works and propose mitigation measures for due protection of the preserved building facades and special architectural features based on the Guidelines in the HIA.

The objective of this HIA is two folded: how to manage the change of future use; and how to upgrade the building to meet the mainstream public aspirations by

carrying out 1) baseline study & 2) heritage impact assessment. The HIA provides a set of guiding principles on the renovation proposal.

The following issues will be assessed and addressed in this HIA.

- 1) Understanding of the significance of the historic place
- 2) Assessment of information of the historic building and site to establish the limitation and opportunity of the proposal
- 3) Establishment of Conservation Policies and Guidelines
- 4) Proposed works and its compatibility in regard to cultural significance of the building and its feasibility in regard to technical concerns
- 5) Implementation of mitigation measures

1.3 Acknowledgements

The author of this report would like to acknowledge the following departments for their assistance and contribution in preparing this report:

- AMO
- ArchSD
- Commissioner for Heritage's Office, Development Bureau

1.4 Methodology

The HIA is based on desk top study of the available reports and documents, as well as various site inspections of the existing building. Venice Charter (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation, will be used as guidelines and standards throughout this adaptive reuse project. The framework of this HIA is adopting the format of the Conservation Plan by Dr. J. Kerr, Sidney, National Trust of Australia (NSW), 2013.

2.0 UNDERSTANDING THE SITE

2.1 Location

Built in 1932, the OWCPS is located on a reclaimed land under the “Praya East Reclamation Scheme” in 1921-30¹. The scheme used the soil material from the cutting of the nearby Morrison Hill. An area of approximately 90 acres was formed between Arsenal Street and East Point, with a new sea wall constructed along today's Gloucester Road². From 1930s to the 1960s, the building faced

¹ H. T. Creasy (Director of Public Works), & A. Anderson (Engineer-in-Charge) *Final Report, Praya East Reclamation Scheme, Kong Kong. No. 1/1931*, 13th June, 1930

² *Architectural Appraisal of the Wan Chai Police Station* by Cody, Jeffery William and Tsui, Chung Man. P.25

directly onto Victoria Harbour. Such location enabled the station to overlook both land and sea. From late 1960s onwards, the reclamation to the north of Gloucester Road commenced. The building began to lose its prominence as a structure bordering the harbour's shoreline. Due to the rapid development of Wan Chai during the last quarters of the 20th century, many buildings on the reclaimed land were demolished and replaced by modern highrise buildings. Today, the building is the only remain along the former waterfront.

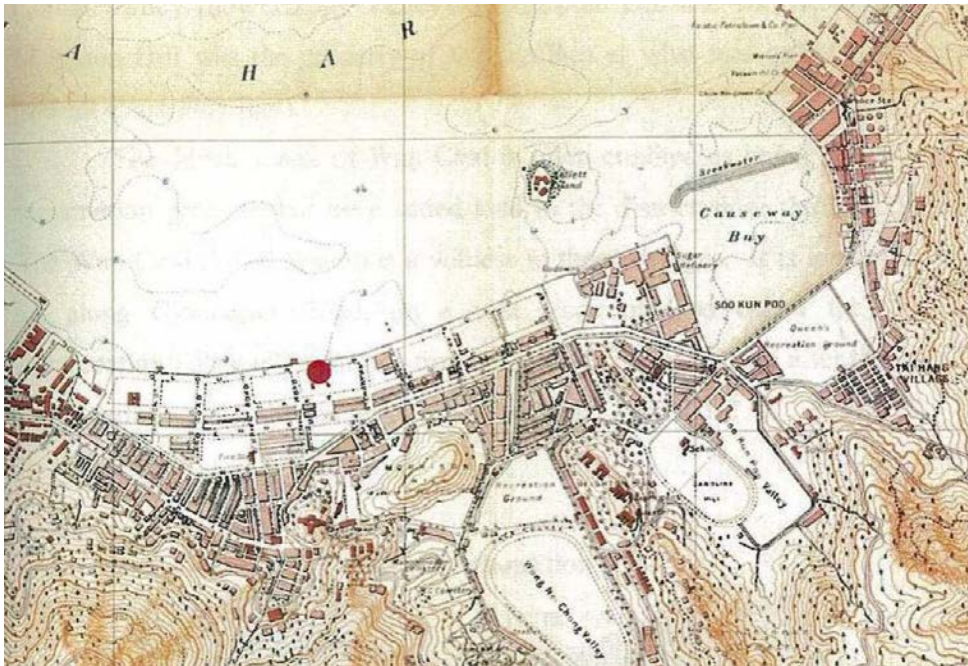


Fig. 2.1 Old Wan Chai Police Station site location plan in 1930s

[*Architectural Appraisal of the Wan Chai Police Station* by Cody, Jeffery William and Tsui, Chung Man]

2.2 Study Area

The HIA study area covers the site of the OWCPS: surrounded by Gloucester Road at the north and Jaffe Road at the south. Both ends at the east & west flanked by commercial buildings. (Fig.2.2) The whole area will be studied in the HIA for the historic development as shown in the following study area plan with red boundary lines. There is no graded historic building within 50m of the project site.

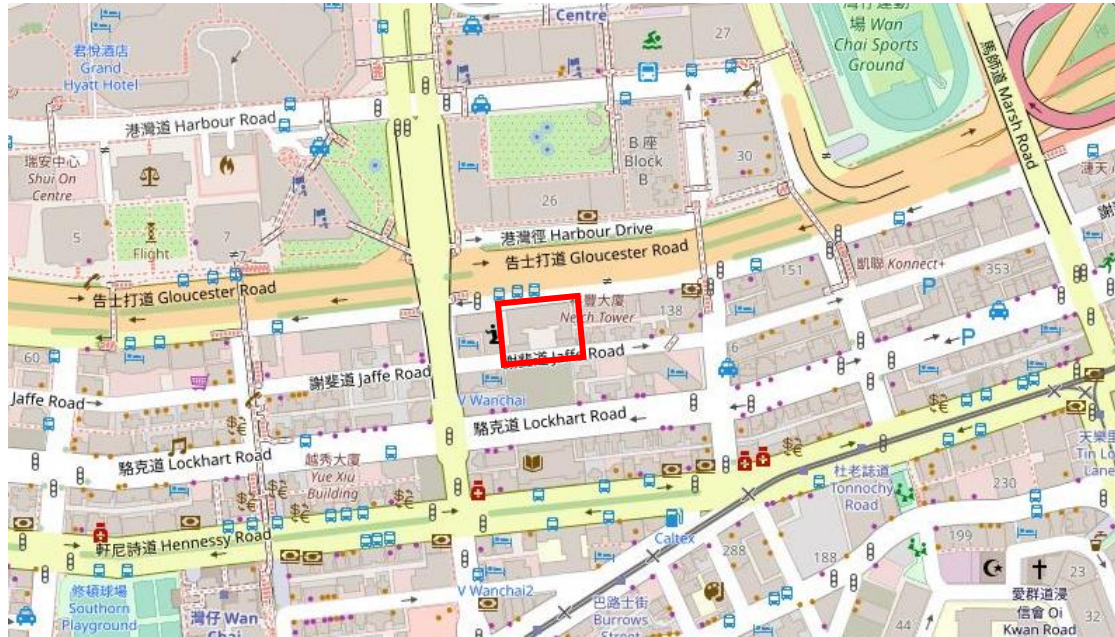


Fig.2.2 Study Area Plan [by author]

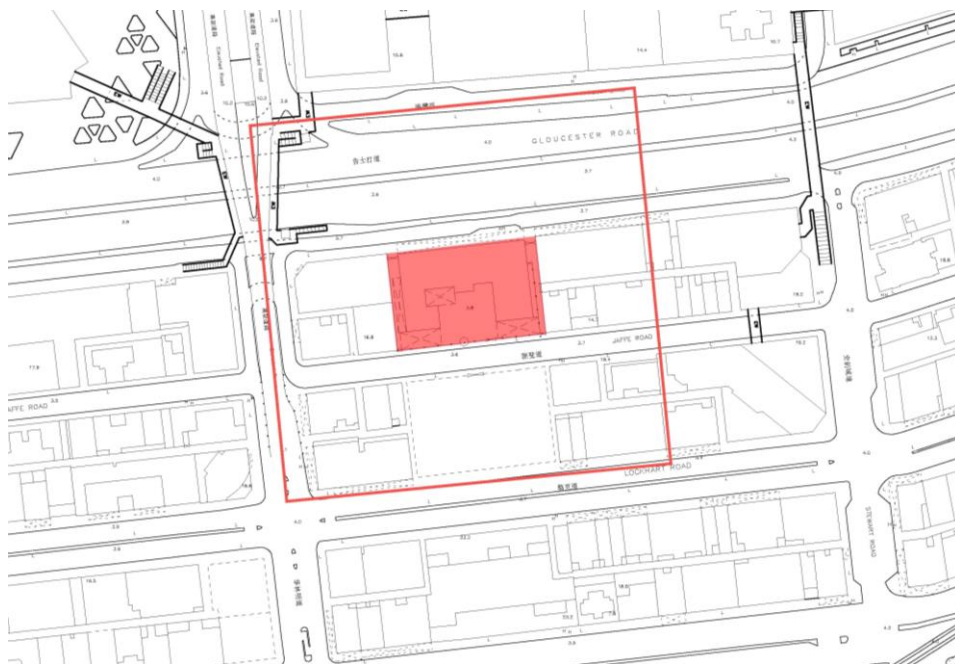


Fig.2.3 50m Study Area Plan [by author]

2.3 Grading Status

The OWCPS was designated as a Grade 2 historic building by Antiquities Advisory Board (AAB) on 18 December 2009.

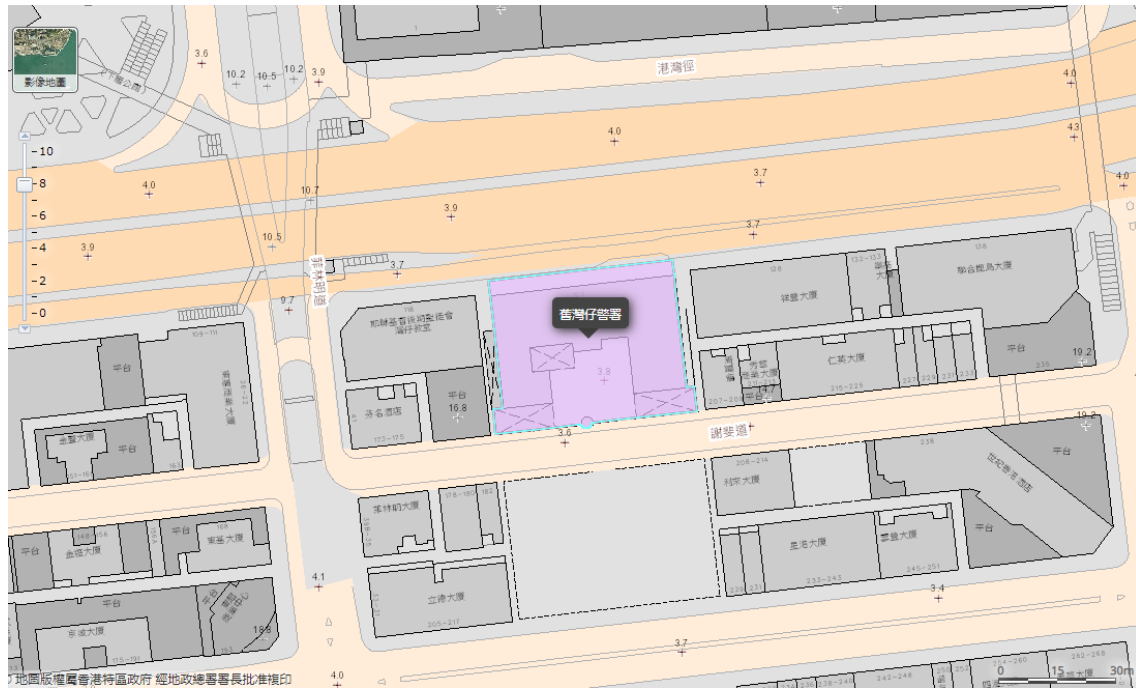


Fig.2.4 Grading Plan [AMO website]

2.4 Outline Description

The OWCPs is using by HKPF as temporary internal office at the moment. The building will be handed over to the Department of Justice for adaptive re-use. Character defining elements (CDEs) will be identified with level of significance in the chapter 6. Guidelines for the upgrading works will be proposed to preserve the cultural significance of the historic building.

3.0 SITE AND CONTEXT

Urbanization of Hong Kong started from 1842 on the north shore of Hong Kong Island. The narrow strip of usable land at the north shore was found insufficient for the growth of the city soon after.

Wan Chai was originally called as Ha Wan (下環). It was one of the earliest developed areas in Hong Kong along the Victoria Harbour. Together with Central (中環), Sheung Wan(上環) and Sai Wan(西環) are known as the *four wans* (literally “rings”) (四環).¹ Wan Chai means “a cove” from the shape of its coastal line. Due to land reclamation, the area is no longer a cove. Wan Chai was the first home to the many Chinese living along the undisturbed coastlines in proximity to Hung Shing Temple at Queen’s Road East, Wan Chai. Most of them were fishermen, who worked around the area near Hung Shing Temple overlooking the entire harbour.

Wan Chai's coastal line has been extended outward after a series of land reclamation schemes. The original coastline in 1841 was located at Queen's Road East (the area of Spring Gardens and Ship Street) and Wan Chai Road. The first reclamation took place and new land was sold to Minister of Foreign Affairs of the British Colony. The project was privately funded and the government did not take part. Spring Gardens area used to be prestige residential area for Europeans. Later on, with the increasing Chinese population, the Europeans moved out from Wan Chai. The area was occupied by low income class workers and prostitutes. By the 1850s, the area turned into a Chinese residential area. There were dockyards on Ship Street and McGregor Street for building and repairing ships. The area at Sun Street, Moon Street and Star Street was the original site of the first power station in Hong Kong in 1890². On top of the hill at the south of Wan Chai Road was the Seaman's Hospital (1843). It was redeveloped into the Royal Naval Hospital. After the Second World War, the hospital became Ruttonjee Hospital and served the community. Prostitution was one of the oldest occupations in Wan Chai and women were from different countries. Wan Chai became legendary for its exotic night life, especially for the US servicemen stopped over during the Vietnam War in 1960s.³

¹ Joseph Ting, Wong Nai-kwan, “City of Victoria, A Selection of the Museum’s Historical Photographs” p.11

² <https://www.hkelectric.com/en/hk-electric-investments/our-history>

³ <https://www.hk-wanchai.com/history>



Fig.3.1 Prestige houses for Europeans at Spring Gardens, Murdoch Bruce (fl. 1840–1854)
[https://en.m.wikipedia.org/wiki/File:Spring_Gardens_1846.jpg]



Fig.3.2 Tenement houses for prostitutes at Spring Gardens, c.1915
[Cheng Po Hung, *Early Hong Kong Brothels*, p.16]

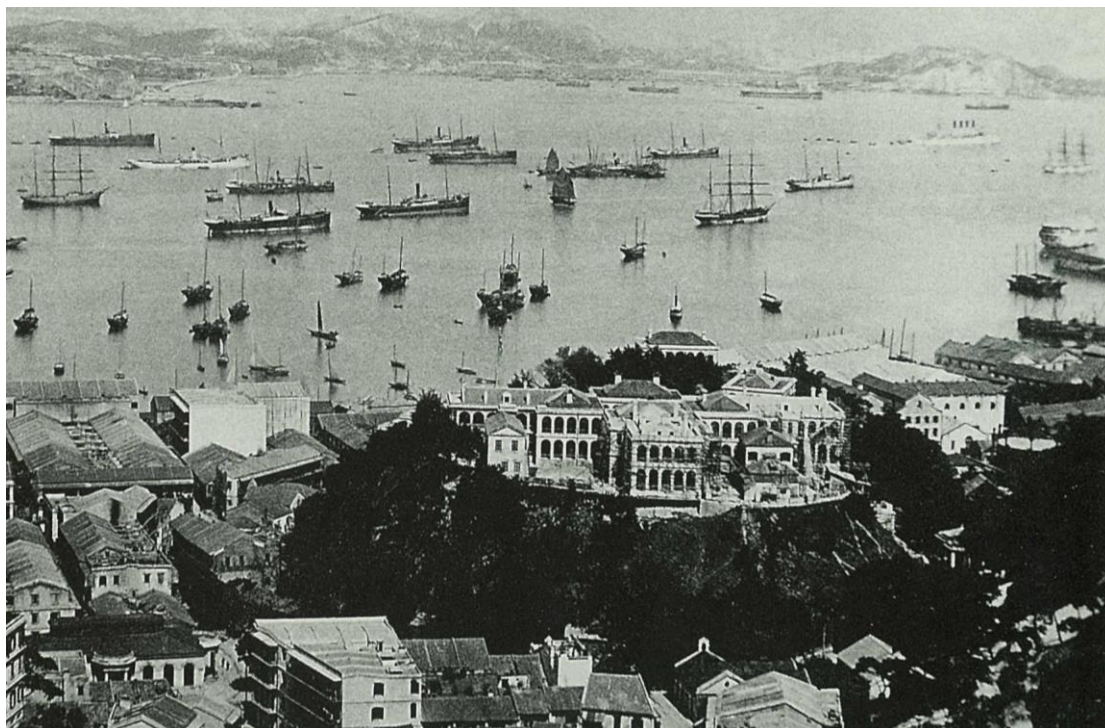


Fig.3.3 Seamen Hospital on the hill top, c.1880 [Joseph Ting, Wong Nai-kwan, *City of Victoria, A Selection of the Museum's Historical Photographs*, p.79]

The next reclamation project in Wan Chai was the Praya East Reclamation Scheme between 1921-30⁴. The coastline was extended to today's Gloucester Road. The "Praya East Reclamation Scheme" provided a new piece of land for residential, commercial, community and government use in 1930s. The OWCPS is located on the reclaimed land. The government at the time usually put the important government buildings at the waterfront. The first and second generation of Wan Chai Police Station were located at the waterfront for the control of land and sea. Within this area, there was a significant building Luk Kwok Hotel (1933) which was one of the tallest buildings at Wan Chai waterfront. The hotel was redeveloped in 1989 with the new name Gloucester Luk Kwok Hong Kong⁵.

⁴ H. T. Creasy (Director of Public Works), & A. Anderson (Engineer-in-Charge) *Final Report, Praya East Reclamation Scheme, Kong Kong. No. 1/1931, 13th June, 1930*

⁵ <https://gloucesterlukkwok.com.hk/>

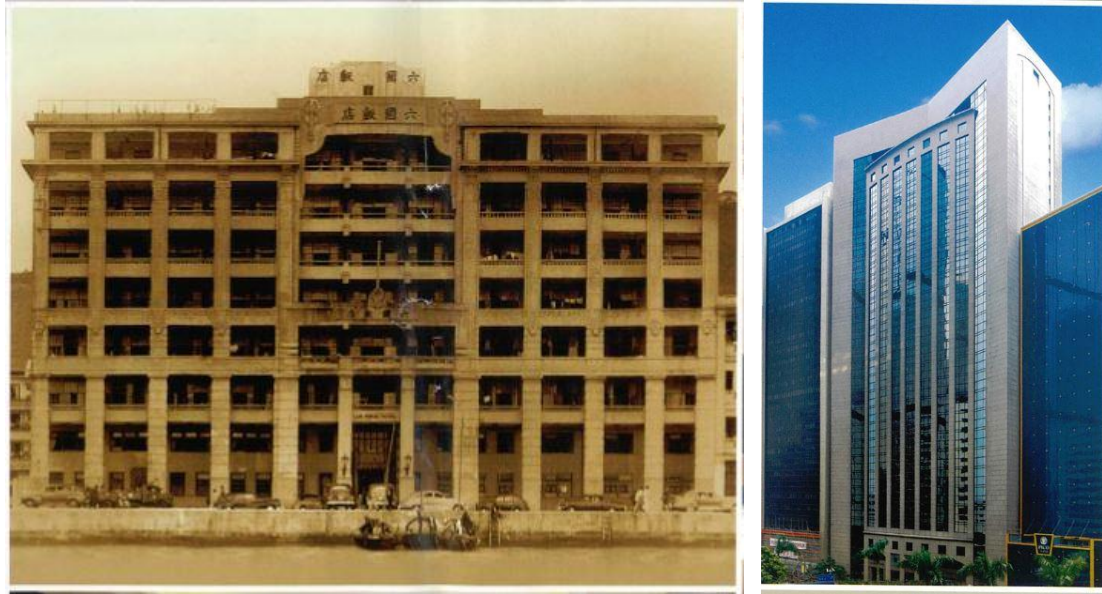


Fig.3.4 Luk Kwok Hotel in 1930s (left) and design after redevelopment 2013 (right)

[Left & right: 六國酒店開業八十周年誌慶，明報，2013年10月8日。]

Further reclamation works were carried out after World War II from 1965 to 1972.⁶ The coastline was pushed further north to the areas around the Convention Avenue and the Wan Chai Pier today. New commercial buildings were built in front of the OWCPs and it is no longer to be seen from the harbour. Additional land was reclaimed on which the current Hong Kong Convention & Exhibition Centre stands today in 1990s. Wan Chai became a vibrant district with different layers of zoning. Along the coastline is for the modern commercial and convention use. In the middle is with commercial and residential mixed use developments. Further south along the hillside is the old district with mostly residential development.

⁶馬冠堯、張順光：港島北岸百年變遷，頁 52。



Fig.3.5 Extent of reclamation 1921-30, 1922 map [Lands Department]

There are many historic buildings in Wan Chai. On the south of Queen's Road East and Wan Chai Road there are Hung Shing Temple (1847, Grade 1), Nam Koo Terrace (1915-21, Grade 1), 64 Kennedy Road (~1924, Grade 3), Old Wan Chai Post Office (1915, Declared Monument), Former Wan Chai Market (1937, Grade 3), Nos.72,72A,74A Stone Nullah Lane (Blue House) (1920s, Grade 1), Nos.2,4,6,8 Hing Wan Street (Yellow House)(1900-1920s, Grade 3) and Yuk Hui Temple (1863, Declared Monument). On the north of Queen's Road East are Nos.60A,62,64,66 Johnston Road (Woo Cheong Pawn Shop) (1920s, Grade 2), tenement cluster at Nos.1,3,5,7,9,11 Mallory Street and Nos.6,8,10,12 Burrows Street (1920s, Grade 2), Nos.186,188,190 Queen's Road East (1930s, Grade 3). Further north are the tenement houses at 109 & 111 Lockhart Road (1930s, Grade 3) and 6 Stewart Road (1930s, Grade 3);

Wan Chai Fire Station (1941, Grade 2) at the corner of Hennessy Road and Canal Road East.

The OWCPS together with the Old Wan Chai Post Office and the façade of Former Wan Chai Market are landmark government buildings in Wan Chai.

4.0 HISTORY AND DEVELOPMENT

4.1 Historical Development of Old Wan Chai Police Station

There was a numbering system from 1 to 9 for the police stations in different districts of Hong Kong Island in 19th Century¹. The OWCPS, previously known as No.2 Police Station or Eastern Police Station, was built in 1932 to replace the then No.2 Police Station which was constructed in 1868 at the junction of Wan Chai Road and Johnston Road (former Praya East Road). The existing building is located on land reclaimed under the Praya East Reclamation Scheme in 1921-1930². Construction work started at the junction of present-day Hennessy Road and Johnston Road to Percival Street. The main goal of the reclamation was to relieve the population density in Victoria City. The OWCPS is the only surviving pre-war government historic building of this reclamation scheme.



Fig.4.2 Location plan showing 1st generation (Green) and 2nd generation of Old Wan Chai Police Station (Red) [Cody, Jeffery William and Tsui, Chung Man, *Architectural Appraisal of the Wan Chai Police Station*]

¹ Colin Crisswell and Mike Watson, "The Royal Hong Kong Police (1841-1945)", p.193
No.1 located at Percival Street; No.2 1st generation located at Wan Chai Road /Johnston Road; No.3 located at Queen's Road East; No.4 located at eastern end of Naval Yard; No.5 located at Queen's Road /Wellington Street; No.6 located at Victoria Gap; No.7 Located at Queen's Road/Pokfulam Road; No.8 Located in Hospital Road; No.9 located in Caine Road
² Final Report, Praya East Reclamation Scheme, Kong Kong. No. 1/1931, 13th June, 1930

The Old Wan Chai Police Compound, originally consisted of the OWCPS at the north front, the Married Quarters for Indians at the south rear, a parade ground and a garage for the Fire Brigade. Since its completion, the compound has served many functions. Apart from serving as a police station, the site provided accommodation exclusively for officers stationed in Wan Chai. They included 40 Indian constables, 98 Chinese constables, 10 Chinese Detectives, with six flats for Europeans on the upper floors. Besides, six married Indians were living in the Married Quarters for Indians on the rear portion of the site. There was a parking lot at the rear, which is now separated by Jaffe Road.³



Fig.4.3 Married Quarters for Indians on the rear portion of the site with the parking lot
1949 aerial photo [Lands Department]

The OWCPS was heavily bombarded during the Japanese invasion in December 1941. The station was subjected to heavy and continuous shell and mortar fire, particularly in the Compound at the rear. There are only few

³ Hong Kong Administrative Report 1930. Paragraph 107

records illustrating the situation of the OWCPS during the Japanese Occupation. The station was badly damaged during the war. After the British surrendered, all European police officers (including those from the Police Station) were sent to the Stanley Internment Camp. After the Second World War in 1945, the HKPF reoccupied the station. Due to the war damage, the station had to be substantially renovated before operation was resumed.⁴

In 1957, a new five storeys Wanchai Police Married Quarters was built in the southern portion to replace the Married Quarters for Indians providing accommodation for police from all districts. The right to occupy was determined by ballot. Living quarters were gradually converted to office use and women police barracks were still provided on 3/F according to a plan dated 1988. No more barrack was found from the 1992 plan.⁵

The OWCPS was used as the Wan Chai District Headquarters and District Station until November 2010. The Wan Chai Police Station was moved to Arsenal Street to continue its operation. Government once intended to preserve the building for adaptive reuse as hotel⁶. The plan was abandoned later. The station was used for deTour Exhibition in 2012⁷. The OWCPS also opened to public in 2014 for the HKPF 170th Anniversary Exhibition. It has been using as temporary internal office by HKPF since 2015.

4.2 Timeline

- 1868 - First generation of Wan Chai Police Station completed at the junction of Wan Chai Road and Johnston Road
- 1921-30- Praya East Reclamation Scheme
- 1932 -Second generation of Wan Chai Police Station completed at Gloucester Road
- 1941- Severely damaged during the Japanese invasion
- 1945- Substantially renovated before police operation was resumed
- 1957- Accommodation was no longer available in the station
- 2010- Wan Chai Division Police Station was moved out
- 2012 -The station was used for deTour Exhibition
- 2014 -Open to public HKPF Police 170 years Exhibition
- 2015- Using as HKPF temporary internal office

⁴ Antiquities and Monuments Office, *Historic Building Appraisal* 356, 2008

⁵ ArchSD record plans 1955,1956,1975,1979,1988,1992

⁶ 灣仔警署活化擬變酒店，香港經濟日報 2010 年 3 月 5 日。

⁷ deTour 設計展踩入二號差館，明報 2012 年 12 月 5 日。

5.0 ARCHITECTURE

5.1 Architectural Descriptions

Setting

The Old Wan Chai Police Station Compound consisted of the OWCPS at the front facing Gloucester Road and at the south separated by Jaffe Road. It is a four storey high U-shape building which is constructed in concrete and brick. At the south of Jaffe Road, there was a Wanchai Police Married Quarters which was built in 1957 to replace a Married Quarters for Indians of two storey high originally in the Compound. The Wanchai Police Married Quarters was demolished in 2011.

According to P.W.D. Report 1930, the design of the OWCPS was described as follows:

The Building is of four storeys and contains accommodation for 40 Indian and 98 Chinese constables, 6 married Indians and 10 Chinese Detectives with six flats for Europeans on the upper floors. The various floors are planned as follows:- Ground Floor, Charge Room, Office and Witnesses Room, Dormitories and Mess Room for Chinese, Cells, Stores, Lavatories, etc. First Floor, Dormitories, Mess Rooms, Kitchens, Lavatories, etc. for Indians and Chinese, Second Floor. Two three-roomed and one five-roomed European Flats. Third Floor. One three-roomed and two four-roomed European Flats. The site is divided into two portions by a transverse road, the main block being on the front portion and the rear portion containing Indian Married Quarters, Garage and Parade Ground.

A contract for piling was let to the Vibro Piling Company in May and this portion of the work was completed in October, the main contract for the building was let to Messrs. Kien On & Co. for \$292,982.82 on the 1st of November, work was commenced immediately and by the end of the year the Concrete foundations had been laid and the brickwork commenced.

By the time of completion of the building in 1932, an article under the title of "HONGKONG'S LATEST LANDMARK" was published in *South China Morning Post* on 24 May 1932. The Wan Chai Police Station was described as :

"Located on the waterfront on the Praya East Reclamation, and facing the Harbour there has just been completed an unusually fine building for the accommodation of the Wanchai police. The building takes the place of the old No.2 Police Station and is modern in every aspect, solid,

capacious and excellently laid out.

The building covers an area of 275 feet by 181 feet and extends from Gloucester Road to Lockhart Road, being intersected by a 40 foot highway known as Jaffe Road. The structure is erected on reinforced concrete piles of which 350 were driven to an average depth of 55 feet by the Vibro Piledriving Co. Blackmore and Blackburn, Ltd., local managers. The contract for the superstructure was awarded to Kien On and Co., the work being commenced on the completion of the piling in October 1930.

The building is of four storeys. The central part of the ground floor is occupied by the administrative offices, working as it were round a pivot formed by the charge room which is severe in its furnishings and most adequate in its fittings. Here also are the general offices, the inspector's office, the traffic office and offices for the detective branch.

The western portion of the ground floor provides quarters for the Chinese detectives with their own mess room, baths, kitchen, etc. In the Eastern wing is the cell block with four large cells, built in the latest approved style. At the immediate rear of the building is the small compound, divided from the larger one by Jaffe Road. The small compound contains two large garages for the accommodation of several cars. Here also is installed the heavy weigh-bridge which was removed from the Central Station.

The larger compound, which forms the parade ground, contains at one end the Indian married quarters, housed in a two storey building containing three two-room flats with verandahs on each floor.

The first floor of the building is given over entirely to the accommodation of the Indian and Chinese units, the Indian being housed in the eastern half of the building and the Chinese in the western half. In the Indian quarters there are five barrack rooms, mess room, kitchen, baths and latrines, the whole accommodating 40 men. The Chinese quarters are built for the accommodation of 50 men and are fitted up in like manner. These quarters with those on the ground floor provide for a total of 100 Chinese. The second and third floors are given over to European quarters, the accommodation consisting of three three-roomed flats and two four-roomed flats for the married Europeans and one five-roomed flat for European

bachelors. Each flat is self-contained.

The whole structure is a handsome one, the front and sides being faced with white snowcrete plaster and the rear faced with Canton facing bricks. The shell of the building is in reinforced concrete and brick."

There is a set of record plans from ArchSD (formerly Public Works Department) without date, on which the floor layouts are matching with the descriptions above. This set of plan should be drawn before 1949¹.

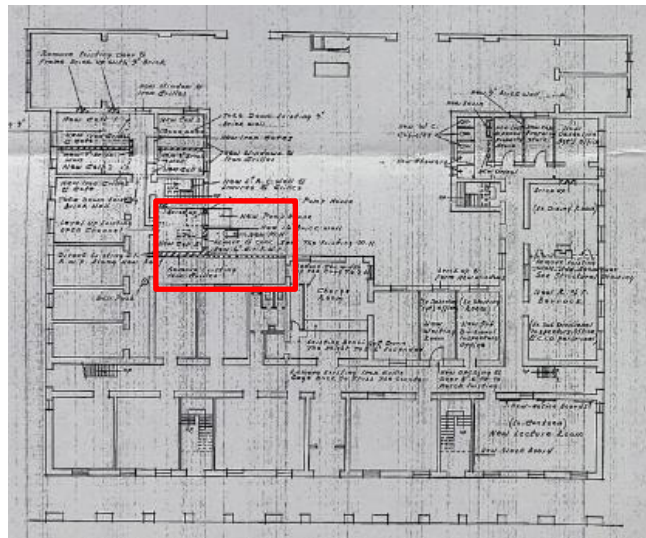


Fig.5.1.1 1956 plan showing fill up of outdoor alcove space [ArchSD]

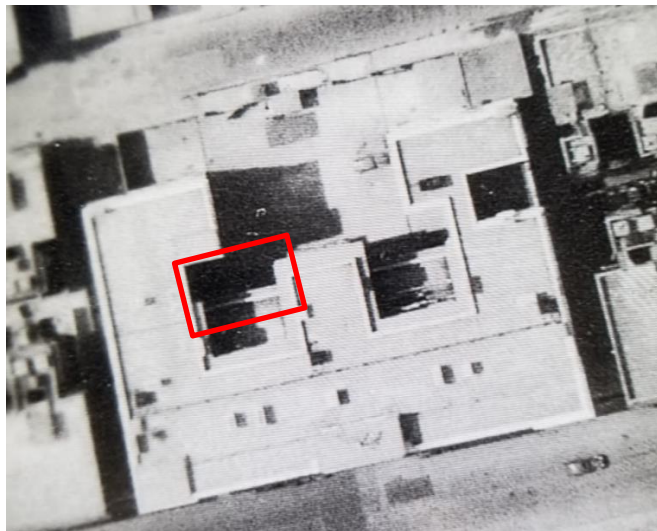


Fig.5.1.2 1949 aerial photo outdoor alcove space still existed [Lands Department]

¹ In comparison with another set of 1956 plan from PWD on which the alcove space at the east wing facing the courtyard on G/F was enclosed with a new cell and corridor. This alcove space was not yet filled up in 1949 aerial photo.

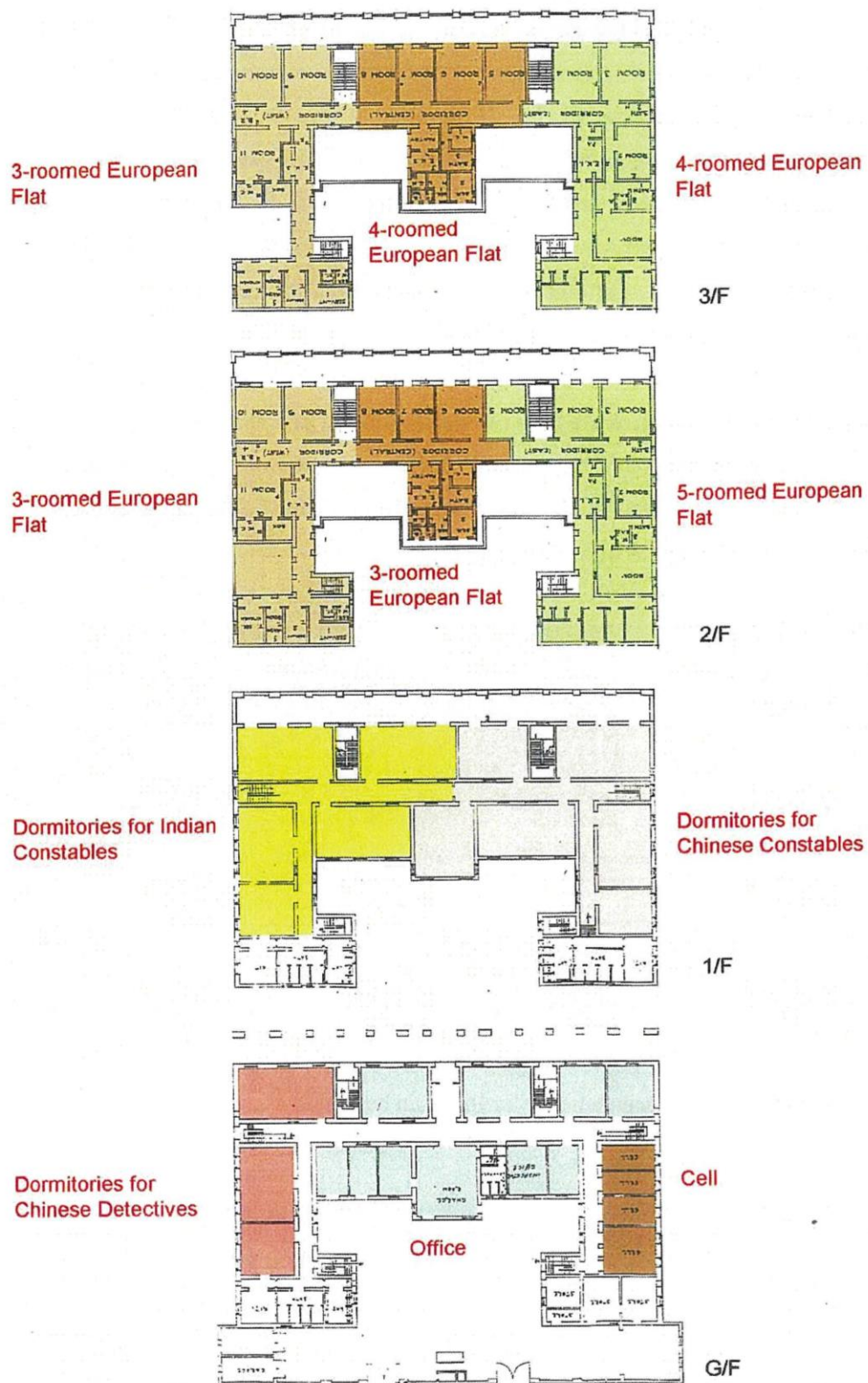


Fig.5.1.3 Floor plans before 1949 showing original zoning of the building [Cody, Jeffery William and Tsui, Chung Man, *Architectural Appraisal of the Wan Chai Police Station*]

Internal Layout

The OWCPS used to serve as both office and dormitory. The ground floor housed the office in the centre, the retention cells in the east wing and dormitory for Chinese detectives in the west wings. Dormitories for Chinese Constables and Indian Constables occupied the east and west wings of first floor respectively. 2/F and 3/F were six flats for European staff². It indicates the segregation of different races to avoid conflict in different life style among the Chinese, Indian and European staff at that period of time³. There were two roof terraces facing courtyard on 2/F of east and west wings. One roof terrace facing the side lane on 2/F of west wing.⁴

Exterior

The front elevation of the OWCPS is in symmetrical design which captures some essences of Neo-classical architecture with Art Deco movement influence. Arcade is found on ground floor while verandahs are found on the first, second and third floors. The frontal façade facing Gloucester Road has divided vertically into five portions or 13 bays by tall concrete piers. It is divided into three layers horizontally by cornice strips. This kind of pattern is commonly used in Western Classical architecture. Columns on the façade can be seen as a simplified version of classical orders which consists of a base, shaft and stylized capitals. The capitals are simply crafted with simple lines and volutes. The rectilinear projection feature standing above the attic storey at the upper centre resembles a Greek classical pediment. Together with the main entrance being located at the centre of ground floor, they give the façade focus on the central portion. The minimal or abstracted ornamentation and plain appearance show the influence of the Art Deco style, which was popular during the period when this police station was constructed. Designed by the then Public Works Department, the long and deep verandah is a typical feature of buildings in Hong Kong at that time.

These architectural features on the front elevation were similar languages used by the surrounding buildings along the old coastal line, such as the Old Luk Kwok Hotel, one of the most luxurious hotels in Wan Chai completed in

² South China Morning Post, *"Hongkong's Latest Landmark, The No.2 Police Station on Gloucester Road"*, 24 May 1932

³ Cody, Jeffery William and Tsui, Chung Man *"Architectural Appraisal of the Wan Chai Police Station"*,

⁴ ArchSD floor plans before 1949

1933 and redeveloped in 1986. The OWCPS differs from the other pre-war police stations for its emphasis on verticality (vs. horizontality), dominant use of linear elements found on the piers and cornice (vs. curvilinear element used in arches) and use of flat roof (vs. pitched roof).



Fig.5.1.4 Front elevation shortly taken after WWII [Colin Crisswell and Mike Watson, *The Royal Hong Kong Police (1841-1945)*, p.143]



Fig.5.1.5 Luk Kwok Hotel 1951 [<https://gwulo.com/node/3694/photos>]

5.2 Architectural Evolution

The building used to serve as office and dormitory spaces for the police station. The building was heavily bombarded during the Japanese invasion of December 1941 and was substantially renovated before operation was resumed. In 1957, a new five storeys quarter replaced the Married Indian Quarter providing accommodation for police from all districts. Barrack rooms in OWCPS were still provided till 1980s-1990s. There were alteration and addition over the years. The study is based on the extent of changes recorded in the drawings⁵.

5.2.1 Layout

The OWCPS interior was renovated and altered several times to suit the changing needs of the operation as follows:

General :

- i) The internal layout has also been altered substantially due to changes in response to operational needs over the years.
- ii) Internal repartitioning, re-fitting, redecoration, installation of air-conditioning, installation of false ceilings and relocation of toilets were carried out.
- iii) Internal finishing of the building follows the same style commonly adopted in other new stations.
- iv) Some original cove-detailed ceiling cornices hide behind the new false ceiling
- v) Some door openings with original fanlight are still retained in situ
- vi) Archways are still retained in-situ

Ground floor :

- i) The charge room at the centre of the building was changed to report room in 1975 plan. Renovation of the report room was carried out in 1988 plan with the window and door facing the yard were blocked by built in cabinets. The report room was converted to security use in 1992 plan.
- ii) Originally there were 4 cells (1 big and 3 small cells) at the east wing on before 1949 plan. Four cells were added on G/F by converting the stores at the rear of east wing. Another one cell and a corridor were

⁵ There are record plan in the following years: before 1949, 1953, 1956, 1975, 1988, 1992 and 2011.

added by enclosing the alcove space at the east wing facing the courtyard in 1956 plan. The big cell was subdivided into two and the three later added cells were converted to generator room and office in 1988 plan. The generator room was converted to toilets and two cells together with the adjacent corridor were combined as a new generator room in 1992 plan. The remaining 5 cells remain up to today.

- iii) The Chinese detective quarters on the west wing was converted to lecture room, barrack, office, and stores in 1956 plan. No more accommodation was found on 1988 plan.
- iv) There were two staircases at the end of the corridor on the east and west wing on 1988 plan. They were demolished on 1992 plan.
- v) The alcove space at the east wing facing the yard was enclosed with a cell and corridor on 1956 plan, and later converted to an office and a corridor on 1988 plan. Metal grilled gates are found in this corridor shows that this corridor was further converted to cell rooms at a later time.
- vi) The garages at the south of west wing were converted to stores on 1988 plan. The store was extended on 1992 plan.
- vii) The existing Armoury rooms were first shown in 1988 plan which hinted the introduction of Armoury room and weapon loading and unloading area between 1975-1988. Steel roof was added to the south of report room in the yard on 1988 plan. The steel roof was later replaced by the concrete roof which still exists on site.
- viii) Some of the wall openings were blocked or added. Partitions were added or demolished over the years.
- ix) FS pump room and fibre glass water tank were added at the lane on the east on 2011 plan.
- x) A covered car park was added in between the building and the rear fence wall at the east, the originally covered space at southeast corner for parking was converted to store room.

First, second and third floors :

- i) There was a barber shop on first floor at the east wing above the mezzanine floor on 1956 plan.
- ii) The roof terraces at the east wing on the 2/F was enclosed to form an internal office on 1992 plan.
- iii) The roof terrace facing the side lane on 2/F of west wing was covered up for office use on 1992 plan.

- iv) There were barracks on the 1/F on 1975 & 79 plans but no more on 1988 plan. All original quarters from G/F to 2/F were converted for police services except the women police barracks on the 3/F on 1988 plan. No more accommodation is found on 1992 plan.



Fig.5.2.1 Aerial photo 2002 showing later-added on G/F (blue), terraces on 2/F (red)
[Lands Department modified by author]

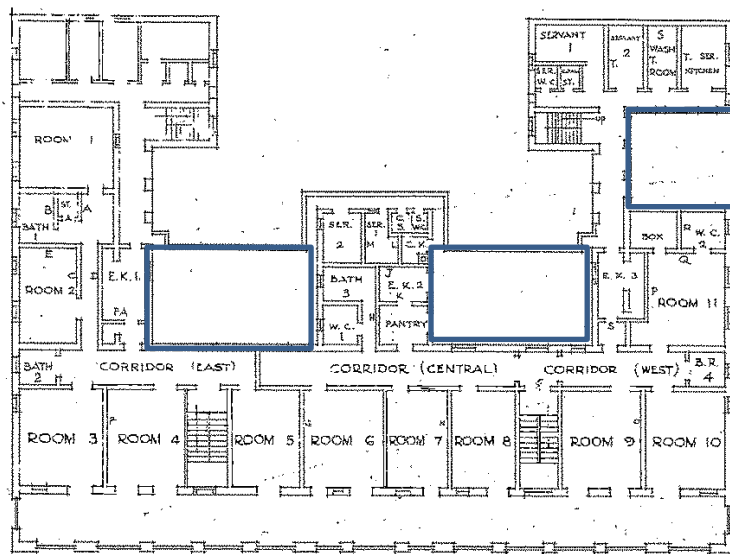


Fig.5.2.2 Roof terraces on 2/F plan before 1949 [ArchSD plan modified by author]



Fig.5.2.5 Different appearance of fireplaces 2023 [ArchSD]



Fig. 5.2.6 Historic photo of fireplace 2020 [Hong Kong Police College, *The Reminiscences of Police Heritage*, p.32]



Fig.5.2.7 Blocked fireplace with timber top 2023 [by author]

The stacks at roof are blocked. 7 number of original fireplaces are exposed. Others are blocked and some with the remains of timber top with corbels. According to the site survey on the fireplaces in 2023, the remaining fireplaces are identified as follows:

| Location | Blocked | Exposed |
|--------------|---|---------|
| Ground floor | 7+3 to be identified due to no access for inspection | ----- |
| First floor | 11+2 to be identified due to no access for inspection | ----- |
| Second floor | 10 | 2 |
| Third floor | 7 | 5 |

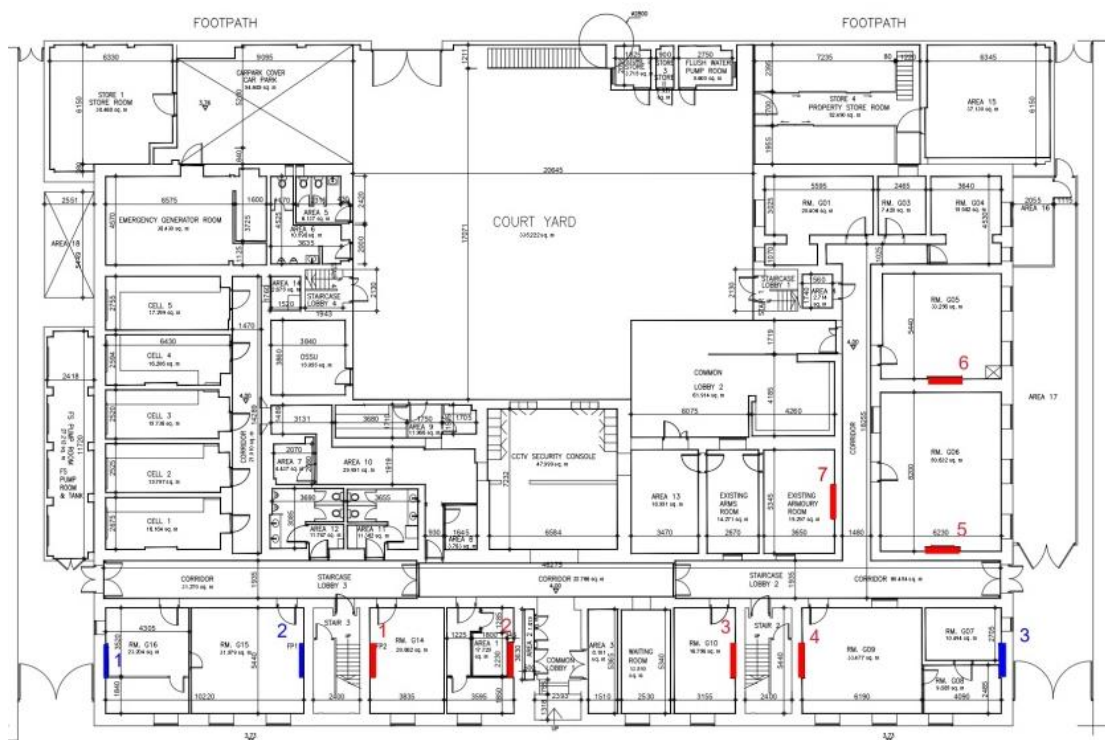


Fig.5.2.8 Location of fireplaces on G/F (red-blocked, blue-inaccessible) 2023 [ArchSD]

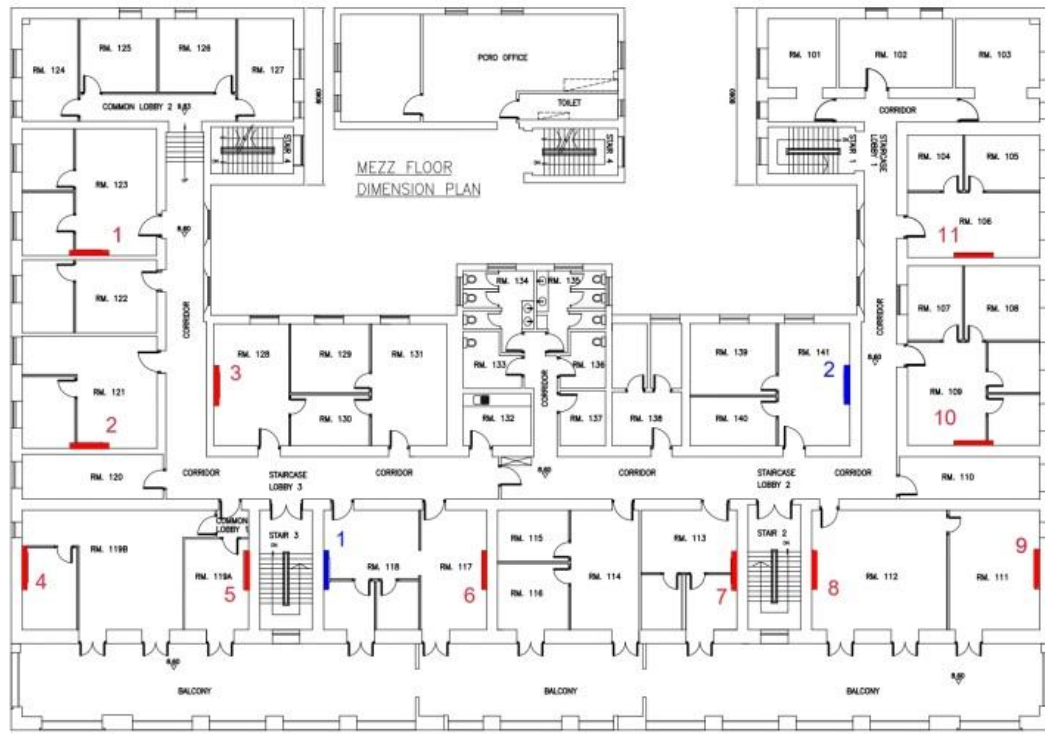


Fig.5.2.9 Location of fireplaces on 1/F (red-blocked, blue-inaccessible) 2023 [ArchSD]

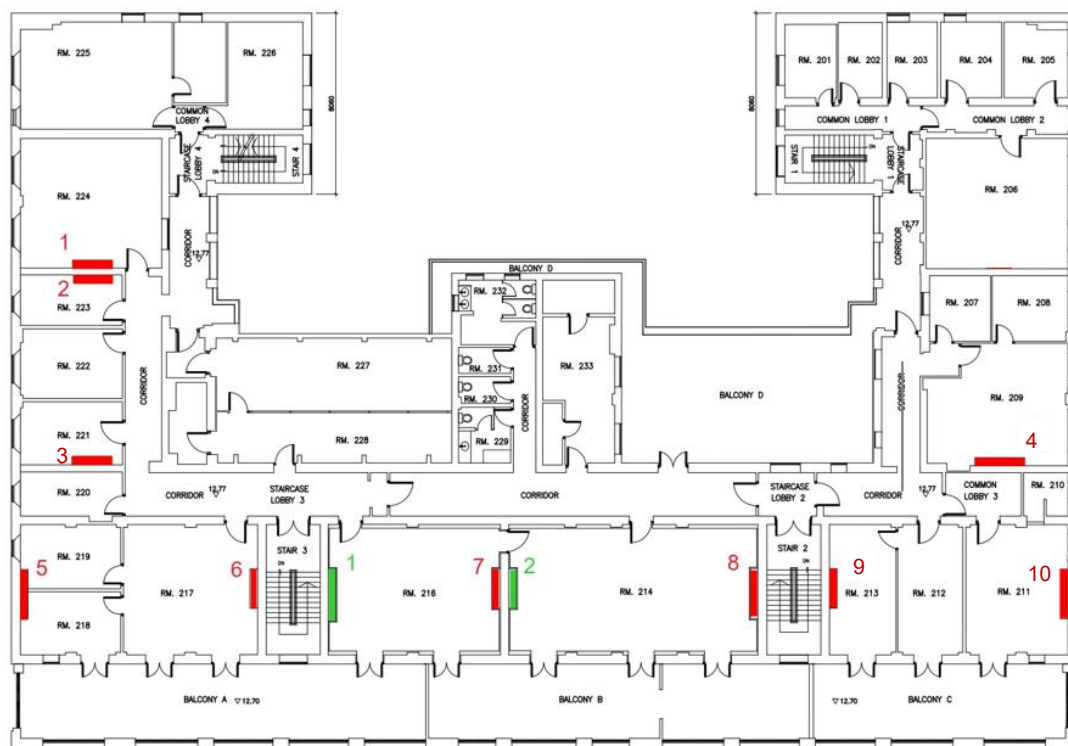


Fig.5.2.10 Location of fireplaces on 2/F (green- exposed, red-blocked) 2023 [ArchSD]

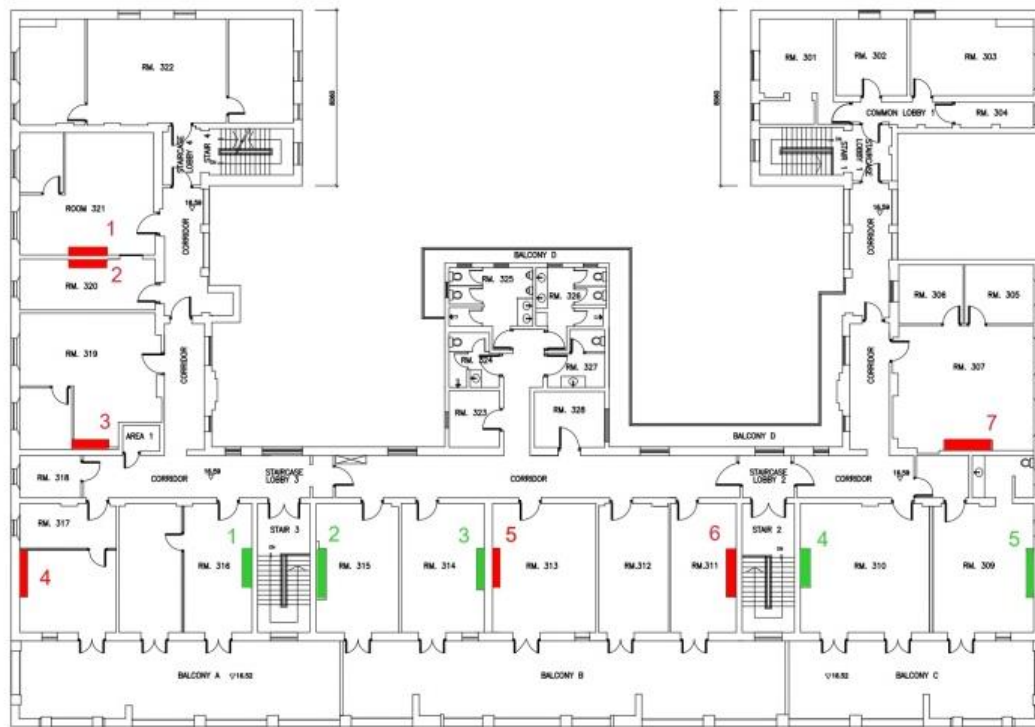


Fig.5.2.11 Location of fireplaces on 3/F (green- exposed, red-blocked) 2023 [ArchSD]

Staircases :

There are 4 enclosed staircases named from 1 to 4. Staircase 2 & 3 are facing Gloucester Road. Staircase 1 & 4 are facing the yard at the west and east wings respectively. Staircase 2 & 3 were connected to the arcade on the north on 1988 plan. They were converted to connect with the internal corridor on the south on 1992 plan.

Staircase 1 & 4 are with similar design with metal railing posts in between flights. Staircase 2 & 3 are with similar design with timber railing posts in between flights. Metal ladders are found in staircase 2 & 3. There were upgrading works in all four stairs in the past. The railing heights of all staircases are extended. Due to a mezzanine floor in between G/F and 1/F, a single flight is at the end of east wing on 1/F.

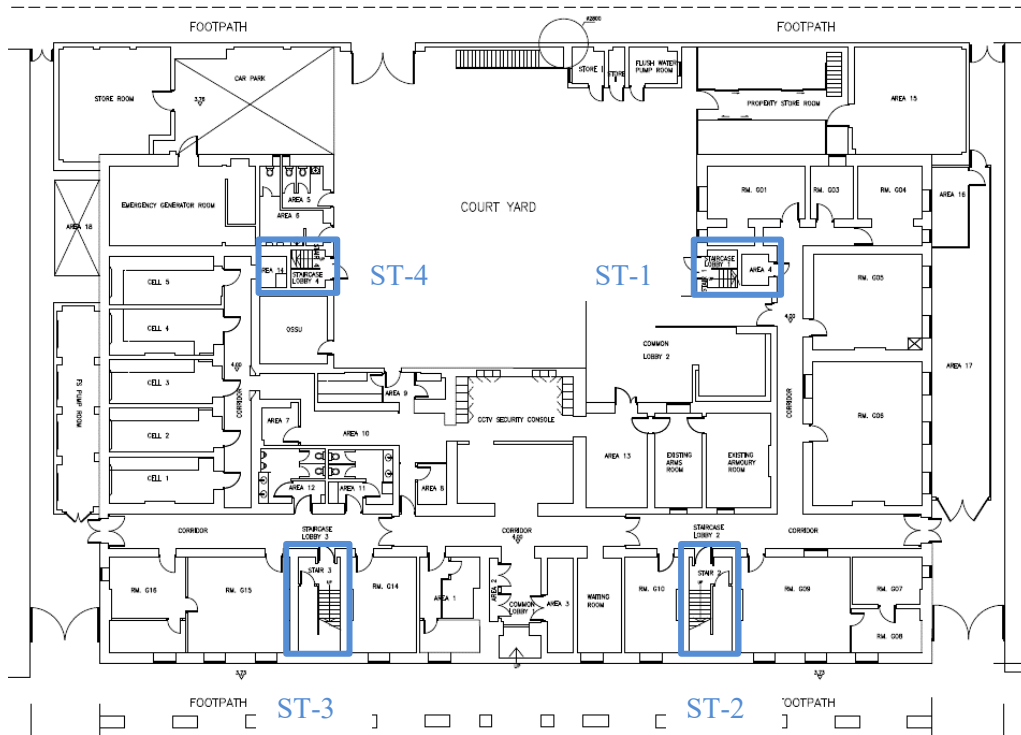


Fig.5.2.12 Location plan of Stairs 1-4 2011 [ArchSD plan modified by author]



Fig.5.2.13 Stair 1 with steel post
2023 [by author]



Fig.5.2.14 Stair 2 with timber post
2023 [by author]

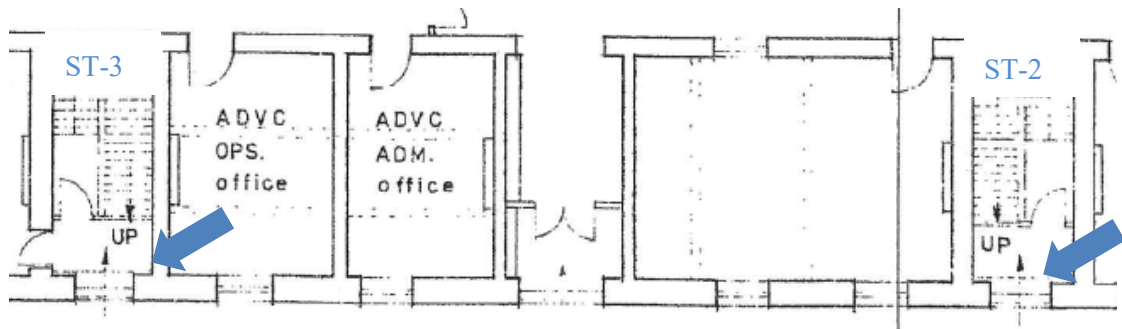


Fig.5.2.15 Direction of exit for Stair 2 & 3 in 1988 G/F plan [ArchSD modified by author]

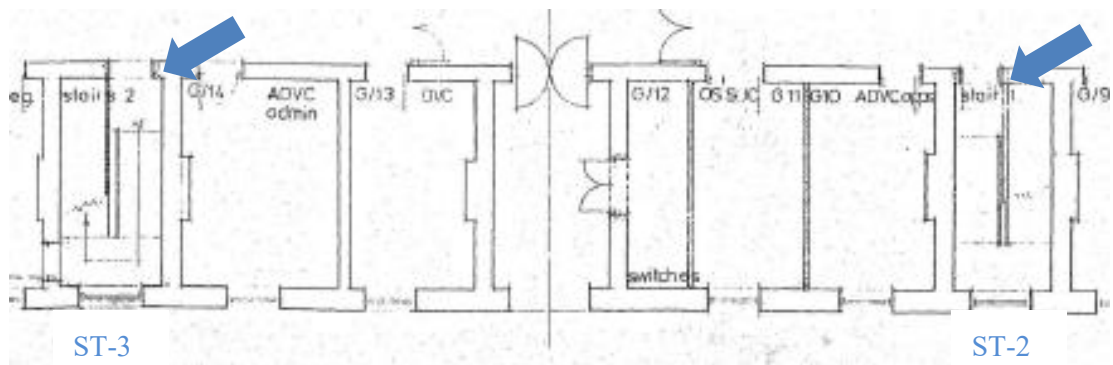


Fig.5.2.16 Direction of exit for Stair 2 & 3 in 1992 G/F plan [ArchSD modified by author]



Fig.5.2.17 Stair railing extended, 2023
[by author]



Fig.5.2.18 Ladder within Stairs 2 & 3, 2023
[by author]

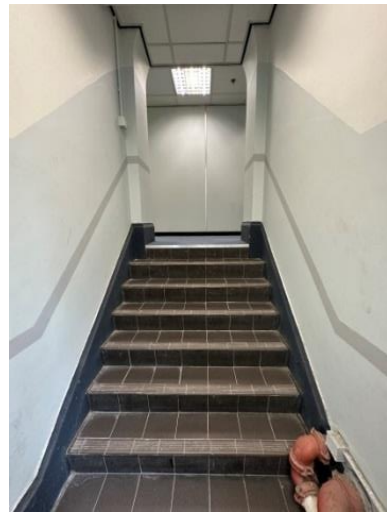
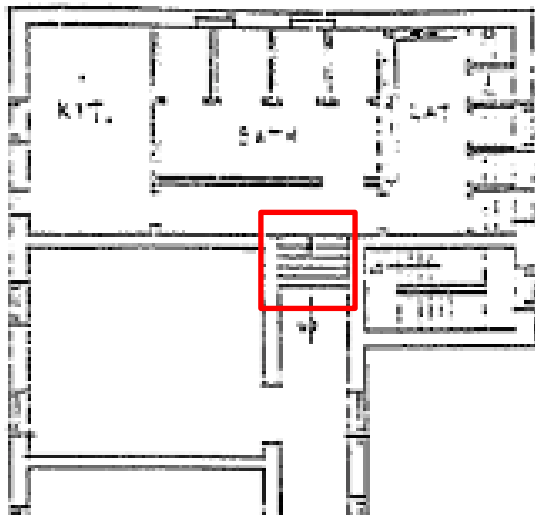


Fig.5.2.19 Stair above mezz.floor at 1/F before 1949 plan (left) [ArchSD modified by author]
Single flight stair at 1/F 2023 (right) [by author]

5.2.2 Main roof :

There are 17 numbers of chimneys on the main roof. Their location matches the layout on the floor plans on the before 1949 plan for the dormitories, kitchens and bathrooms. At the north east corner above the 3rd floor verandah, there is a pitched roof structure. The function of this structure is unknown. The ceiling height of the verandah on 3/F is raised at this location. No such kind of feature is found at the north west corner. This is also found in the 1949 aerial photo and early elevation photo.



Fig.5.2.20 Chimneys at the main roof in 2002 aerial photo
[Lands Department modified by author]



Fig.5.2.21 Chimneys at the roof 2023
[by author]



Fig.5.2.22 Raised roof at north east corner 2023
[by author]

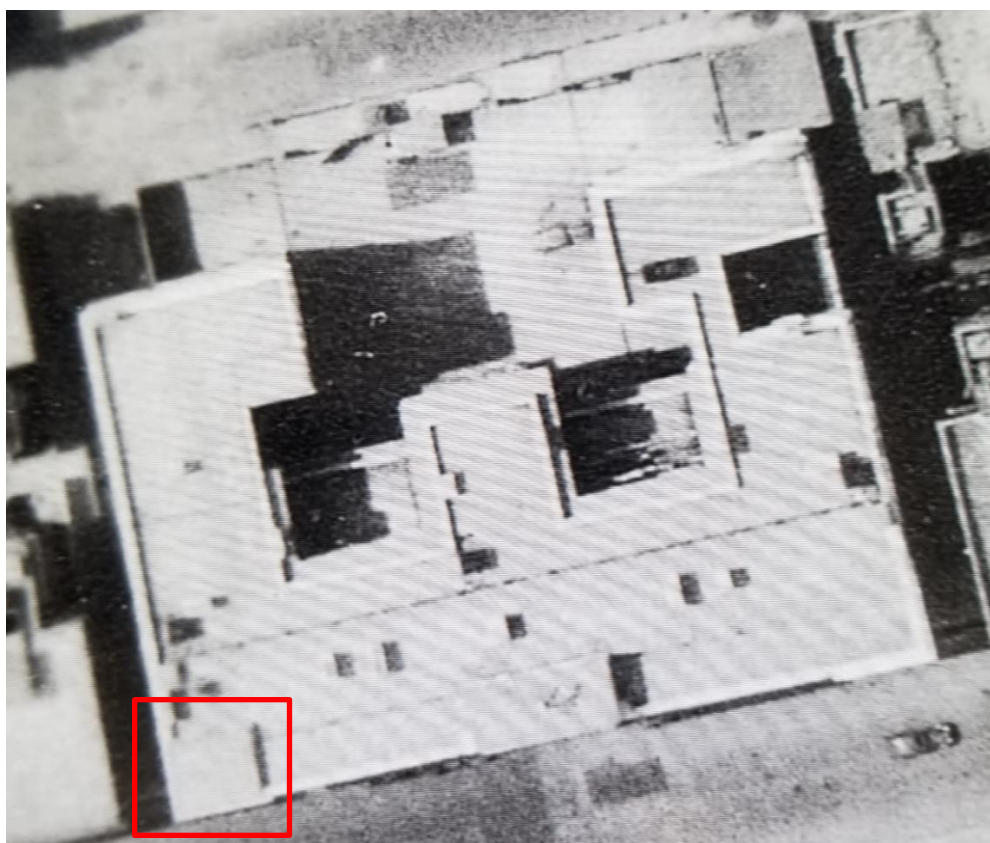


Fig.5.2.23 Pitched roof at north east corner in 1949 aerial photo
[Lands Department modified by author]



Fig.5.2.24 Pitched roof at north east corner, photo taken shortly after WWII
[Colin Crisswell and Mike Watson, *The Royal Hong Kong Police (1841-1945)*, p.143]

5.2.3 Façade :

North elevation (Front)

The front elevation facing Gloucester Road has been the trademark of the OWCPS which remains intact since its completion. The original façades of the OWCPS have been retained despite alterations done to the building in the past years in general. The main entrance was altered with aluminum cladding. The two exit openings at the ground floor arcade were blocked in 1990s due to change of stair exit direction.



Fig.5.2.25 No major change of front elevation 2023 [by author]



Fig.5.2.26 Main entrance redecorated 2023 [by author]



Fig.5.2.27 Security mesh and grill bar at windows 2023 [by author]



Fig.5.2.28 Both Stair 2 & 3 exit openings are blocked on ground floor, 2023
[by author]

South elevation (Rear)

The “*rear faced with Canton facing bricks*” as described in 1932 S.C.M.P. cannot be found on the existing building. There is a 1935 photo showing the brick wall background. It may be covered by plaster and paint.



Fig.5.2.29 1935 photo showing facing brick wall [Gwulo.com modified by Author]

The facades facing courtyard have certain degree of alteration in the past years. There were alterations to the courtyard facades due to newly built extension, windows/door openings due to change of circulation and air-conditioner installation. The central portion of the rear elevation is recessed from Jaffe Road to form the courtyard. Other than some later-added window-type air-conditioners/ other BS on façade, door and window openings at the middle of 2 & 3/F floors were blocked. Rooms were added on the east wing 2/F roof terrace. The original external brick wall enclosed by these later-added rooms can be seen from inside. New structure was added at the recessed area at the east wing G/F. The wall & openings at the Centre wing of ground floor were blocked by wooden backdrop which was believed to be added for the weapon loading and unloading area introduced in the police station in 70/80s. It was covered up by metal panels.



Fig.5.2.30 Major alterations at the rear façade 2023 [by author]

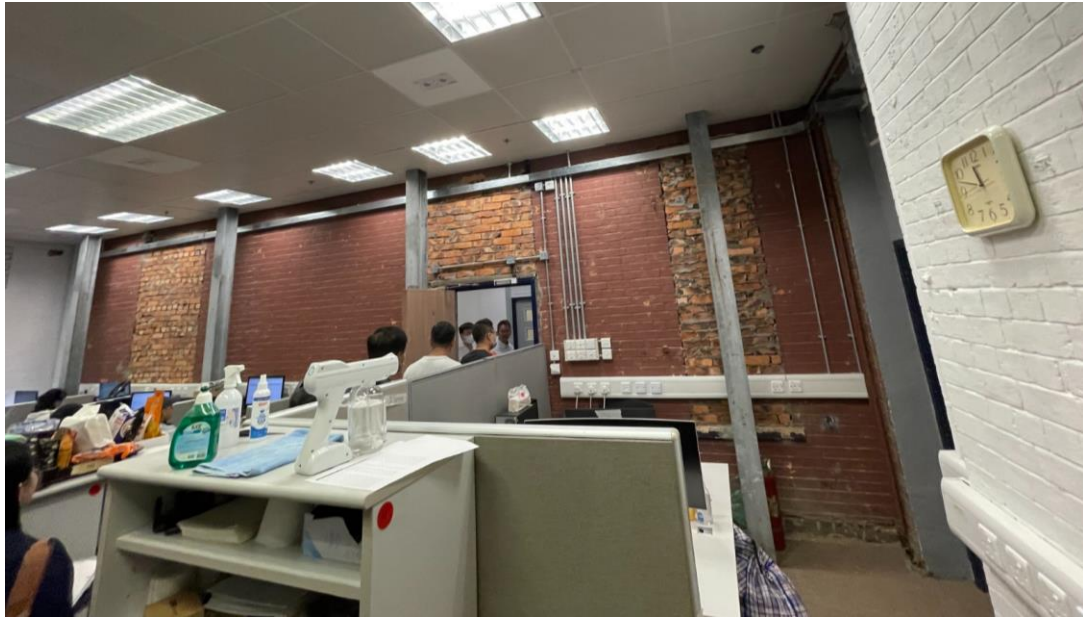


Fig.5.2.31 Original external wall at 2/F east wing rear façade is enclosed by later-added room 2023 [by author]



Fig.5.2.32 Centre wing wall & openings are blocked by wooden backstop which was further covered up by metal panels 2023 [by author]

There is no change on the two end walls of east and west wing facing Jaffe Road except some changes of opening on G/F, some later-added window-type air-conditioners / other BS on the façades. The later-made opening and the windows at the ground floor are blocked by the later addition on the west wing end wall.



Fig.5.2.33 West wing end wall 2023
[by author]



Fig.5.2.34 East wing end wall 2023
[by author]

East & west elevation (side)

There are intrusive elements both on east and west elevations. Metal boards were added to the opening of the verandah on the first floor. Air-conditioners were added to the timber windows



East elevation



West elevation

Fig.5.2.35 Later-added metal boards on east and west elevations at 1/F verandah 2023
[by author]



East elevation



West elevation

Fig.5.2.36 A/C window units on east and west elevations 2023 [by author]

The west elevation has been changed at the 2/F with a later addition of a room on top of the 2/F roof terrace.



Fig.5.2.37 Later-added room on west wing 2/F terrace facing adjacent lot 2023 [by author]

Inner elevations facing courtyard

The existing inner side elevation of the west wings matches the drawing on the 1988 plan. There is no inner side elevation drawing of the east wing on the 1988 plan. The location of window openings on east wing and west wing is slightly different on G & 1/F due to the mezzanine floor at east wing. Changes of openings at east wing G/F have been made over the years.



West inner side elevation



East inner side elevation

Fig.5.2.38 Existing inner side elevations of west & east wing 2023 [by author]

5.2.4 External area

i) Courtyard

Although the courtyard has been altered many times over the years, it still serves as parking and loading/unloading area. The heavy weigh-bridge which was removed from the Central Station as described in 1932 SCMP is no longer there. According to the original G/F plan before 1949, although the turret was not in place at the very beginning, from the 1949 aerial photo, a circular shadow was casted on the ground at the location of the existing turret. Therefore the existing turret should be constructed before 1949. The turret with

an access staircase is one of the key features of a police station.



Fig.5.2.39 Turret and access staircase 2023 [by author]



Fig.5.2.40 aerial photo 1949 showing the turret [Lands Department modified by author]

The open spaces in between east & west wings and Jaffe Road are occupied by a temporary steel structure for parking and storage purposes respectively.



Fig.5.2.41 Temporary structures at the open spaces adjacent to east and west wings 2023 [by author]

ii) East & west side lanes

The east side lane is occupied by a later-added FS tank and pump room. The west side lane is occupied by a temporary steel structure for storage purpose.



East side lane



West side lane

Fig.5.2.42 FS tank & pump room at east side lane and storage at west side lane 2023

[by author]

iii) Fence wall with security bars

A photo taken around 1935-37 regarding the annual fire drill display on 1935 was carried out in the No 2 Police Station compound in Wanchai. It is likely that the photo was taken at the site opposite the OWCPS between Jaffe and Lockhart Roads. From the photo, the south east corner of the OWCPS is shown. It matches with the before 1949 plan that this corner had a single storey covered space. From this photo, it also shows the exposed brick wall and security bars were on top of the fence wall. The existing security bars on top of the fence wall may be later replacement.



Fig.5.2.43 South east corner fence wall and 2-Storey Married Quarters for Indians,1935-37

(left)

fire drill display,1935-37 (left & right)

[<https://gwulo.com/media/14884> (right)]

[<https://gwulo.com/media/14892> (Left)]



1935-37 photo



2023 photo

Fig.5.2.44 Fence wall at south east corner of the old Wan Chai Police Station [by author]

The fence wall may be rebuilt with the construction of turret in early days. Part of the fence wall facing Jaffe Road in an area about 4 x 10 meters was collapsed on 5 February 2018 during a truck accident. The fence wall was reinstated.



Fig.5.2.45 News report on the accident
2018 [HK ON TV]

https://www.youtube.com/watch?v=9_7-LW0Uw8



Fig.5.2.46 Fence wall after reinstatement
2023 [by author]

6.0 STATEMENT OF CULTURAL SIGNIFICANCE

6.1 Historic Values

The OWCPS's function as a police station and providing for police related services has remained unchanged for about 90 years since its completion in 1932. It is part of the historic development of Hong Kong Police Force in Hong Kong.

Originally facing the waterfront and regarded as the “Hong Kong’s Latest Landmark”¹, the OWCPS is the only surviving pre-war government relic of the Praya East Reclamation Scheme in 1921-30². It demarcates the shoreline after the Scheme, which is one of the most important urban planning projects in early 20th century of Hong Kong. The division of the whole site into two portions by Jaffe Road also gives a clue of the formation of Jaffe Road.



Fig. 6.1.1 Historic photo showing the Police Station built along the new coastline
[Edward Stoke, *Hedda Morrison's Hong Kong, Photographs & Impressions 1946-47*, p.123]

6.2 Architectural Values

The OWCPS is one of the few remaining pre-war police station compounds in

¹ South China Morning Post, “Hongkong’s Latest Landmark, The No.2 Police Station on Gloucester Road”, 24 May 1932

²H. T. Creasy (Director of Public Works), & A. Anderson (Engineer-in-Charge) *Final Report, Praya East Reclamation Scheme, Kong Kong. No. 1/1931*, 13th June, 1930 and Antiquities and Monuments Office, *Historic Building Appraisal 356*, 2008

Hong Kong. It was the largest historical government building in Wan Chai at the time. The OWCPs is one of the only few public buildings in Hong Kong, with a mixture of Neo-classical and Art Deco styles in 1930s, it is the only surviving example of a pre-war modern design police station in Hong Kong. It completes the story of modern architectural development under Hong Kong context.



Fig. 6.2.1 Existing old Wan Chai Police Station [by author]

6.3 Social Values

The OWCPs serves the Hong Kong and the community as a police station for about 90 years. It witnesses the development of HKPF including the numbering system for the police stations at early era, the provision of quarters for the police and the composition of the HKPF included Europeans, Chinese and Indians in 1930s. The building functions as a police station and assumes the role in keeping law and order. It is a well known landmark in Wan Chai even though it is no longer on the waterfront and surrounded by high-rise buildings. Social events were carried out in the past years such as the HKPF

170th Anniversary Exhibition in 2014.

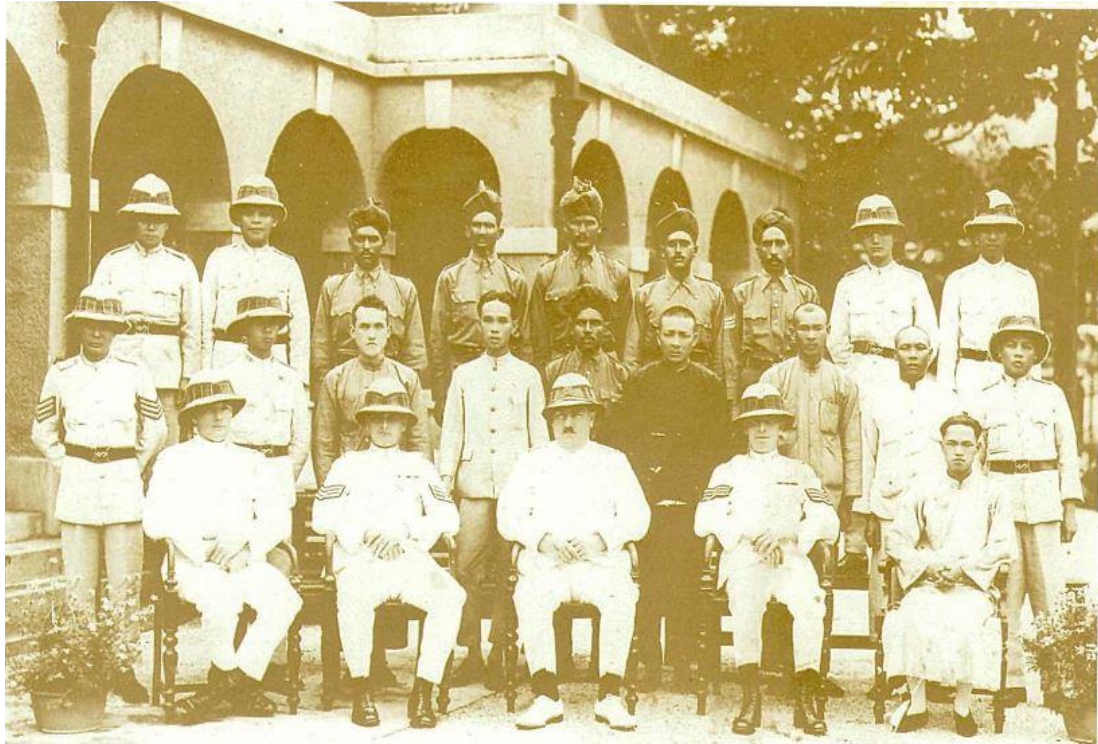


Fig.6.3.1 European, Indian & Chinese policemen 1925 [Police Museum, p.36]



Fig.6.3.2 HKPF 170th Anniversary.

[<https://www.police.gov.hk/offbeat/1018/eng/1677.html>]

6.4 Character Defining Elements (CDEs)

CDEs means the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place¹. The building fabric/elements have different levels of significance. This assessment of significance fabric/elements is to facilitate decisions to be made on the future conservation of the historic place concerning the establishment of conservation policies, recommended treatments for the building fabrics as well as the interpretation for the historic place. The Levels of Significance ranging from exceptional to low for the CDEs. Neutral and intrusive are not considered as CDEs.


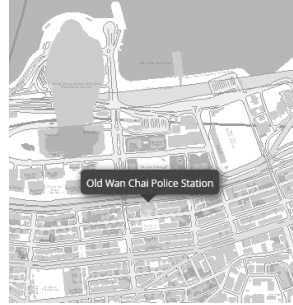
The categories of assessment are based on the Conservation Plan by J.Kerr.




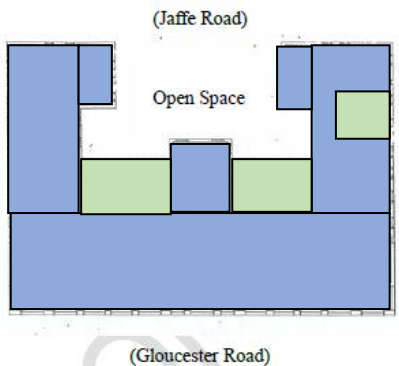
| Levels of Significance | Meaning |
|------------------------|---|
| Exceptional | Where an individual space or element is assessed as displaying a strong contribution to the overall significance of the place. Spaces, elements or fabric exhibit a high degree of intactness and quality, though minor alterations or degradation may be evident. |
| High | Where an individual space or element is assessed as making a substantial contribution to the overall significance of the place. Space, elements of fabric originally of substantial quality, yet may have undergone considerable alteration or adaptation resulting in presentation, which is either incomplete or ambiguous |
| Moderate | Where an individual space or element is assessed as making a moderate contribution to the overall significance of the place. Spaces, elements or fabric originally of some intrinsic quality, and may have undergone alteration or degradation. In addition, elements of relatively new construction, where the assessment of significance is difficult, may be included. |

¹ Definition extracted from Standards and Guidelines for the Conservation of Historic Places in Canada, from Canada's Historic Places
<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

| | |
|------------------|---|
| Low | Where an individual space or element is assessed as making a minor contribution to the overall significance of the place, especially when compared to other features. Spaces, elements or fabric originally of little intrinsic quality, any may have undergone alteration or degradation. This category also includes original spaces, elements or fabric of any quality which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive. |
| Neutral | Where an individual space or element is assessed as having an unimportant relationship with the overall significance of the place. Spaces elements or fabric are assessed as having little or no significance. |
| Intrusive | Where an individual space or element detracts from the appreciation of cultural significance, by adversely affecting or obscuring other significant areas, elements or items. |

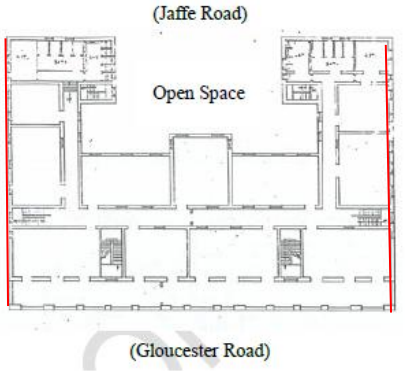
A. General




| Item No | Elements/Materials | Photo and Reference | Level of Significance | Location |
|---------|--|---|--|--|
| A1 | <u>Setting</u> -Locates at 123 Gloucester Road - 2 nd generation of Wan Chai police station - retains its location since 1932 - served as a police station for Wan Chai population for ninety years | Street scene  | High -The setting is less prominent after reclamation and new high rise buildings are blocking the historic building |  |



| | | | | |
|----|--|--|---|---|
| A2 | <p><u>Building Structure</u></p> <ul style="list-style-type: none"> - Reinforced concrete cum brick structure - Mostly rendered and painted at exterior and interior - Canton facing bricks at rear are covered by plastering & paint |  | <p>High</p> <p>- The brick structure was altered for many times to suit the changing operation needs</p> |  |
| A3 | <p><u>U-shape layout</u></p> <ul style="list-style-type: none"> - open space at rear adjacent to Jaffe Road - open lanes at both sides |  | <p>High</p> <p>- Although additional structures had been erected over these years, the U shape layout with a courtyard enclosed is generally kept intact</p> |  |



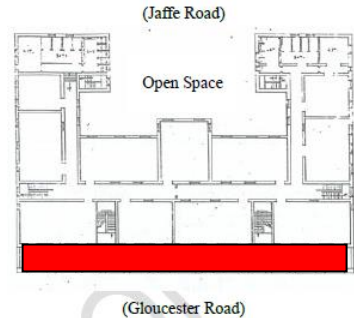
B. External Elements





| Item No | Elements/Materials | Photo and Reference | Level of Significance | Location |
|---------|--------------------|---------------------|-----------------------|----------|
|---------|--------------------|---------------------|-----------------------|----------|


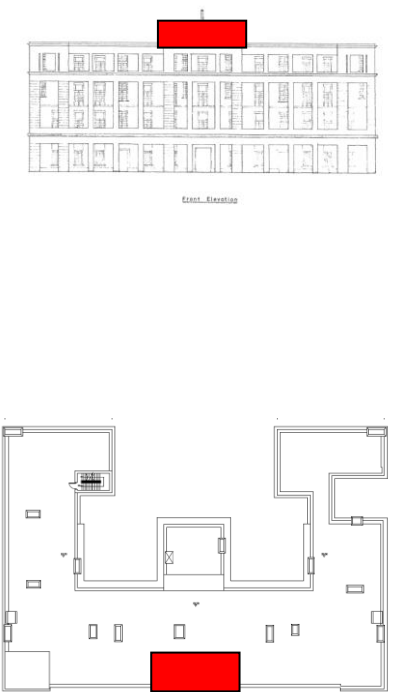


| | | | | |
|-----------|---|--|---|--|
| <p>B1</p> | <p><u>Front elevation</u></p> <ul style="list-style-type: none"> -Rendered and painted -Colonnades on public pavement -Verandahs projecting over pavement - Columns with bases, chamfered & grooved shaft and crafted capitals -13 vertical bays -Full length projecting cornices at 1/F,3/F and roof parapet forming 3 horizontal layers - Grooved lines on walls, timber doors and windows, etc. |  | <p>Exceptional</p> <ul style="list-style-type: none"> -distinctive in 1930s police station design -high level of authenticity <p>Intrusive</p> <ul style="list-style-type: none"> -Later-added metal boards at verandahs and cladding at main entrance are intrusive |  |
| <p>B2</p> | <p><u>Side elevation facing adjacent lots</u></p> <ul style="list-style-type: none"> -Rendered and painted -Horizontal projecting cornices running the full length of the façade -Timber doors and windows with projected window/door heads and window sills -Grooved rendered walls -Entrance door openings with granite steps connecting to the side lanes | <div>   </div> <div> <p>West elevation</p> <p>East elevation</p> </div> | <p>Moderate</p> <ul style="list-style-type: none"> -Window openings are retained with window type A/C units -less visible <p>Intrusive</p> <ul style="list-style-type: none"> -Later added rooms on 2/F West wing terrace facing side lane |  |






| | | | | |
|----|---|---|---|---|
| | | | <ul style="list-style-type: none"> -Later-added temporary structures on west east lane -Later-added FS tank and pump room on east lane | |
| B3 | <p><u>Rear elevation (facing Jaffe Road)</u></p> <ul style="list-style-type: none"> -Horizontal projecting cornices running the full length of the façades -Timber doors and windows with projected window/door heads and window sills -Grooved rendered walls on ground, west and east wings facing Jaffe Road -Painted wall without rendering facing courtyard at above ground floor -Deep and thin sunshades, overhangs and projections |   <p>West wing East wing</p> | <p>High</p> <ul style="list-style-type: none"> -Window openings are retained with window type A/C units - visible from Jaffe Road <p>Intrusive</p> <ul style="list-style-type: none"> -Later-added corrugated sheet covers for carpark and storage -Later added rooms on G/F and east wing terrace on 2/F |  |


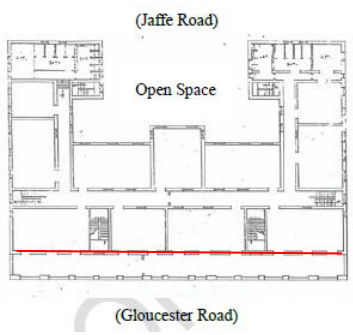

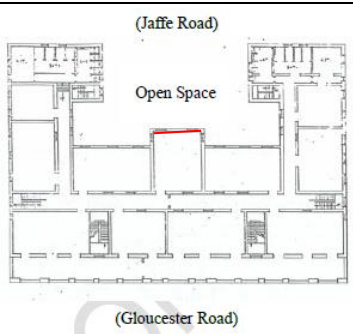
| | | | | |
|------------------|--|---|---|---|
| <p>B4</p> | <p><u>Inner Side Elevations facing rear courtyard</u></p> <ul style="list-style-type: none"> - Horizontal projecting cornice - Concrete canopies - Balconies and terrace - Timber doors and windows with projected window/door heads and window sills - Grooved rendered side walls of East and West wings - Painted wall without rendering at centre projecting bay and walls facing balconies, covered walkways and terraces -Deep and thin sunshades, overhangs and projections |  | <p>Moderate</p> <ul style="list-style-type: none"> -alteration and addition works have been done over the years -recessed from public road, less visible <p>Intrusive</p> <ul style="list-style-type: none"> -Later added rooms on east wing G/F and east wing terrace at 2/F. |  |
|------------------|--|---|---|---|

| | | | | |
|-----------|--|---|---|--|
| <p>B5</p> | <p><u>Historic timber windows/doors on all elevations</u></p> <ul style="list-style-type: none"> - Original openings (some windows and doors openings facing the verandahs, courtyard and side lanes have been modified over the years) - Historic timber framed fanlight/ windows and French windows - Projected window/door heads & sills at external side - Ironmongeries - Granite thresholds - Concrete window sills at internal side - Metal gates, grilles and mesh installed in 1970s |  | <p>High</p> <ul style="list-style-type: none"> -Historic timber doors and windows are with historic and architectural values -Granite thresholds are original <p>Moderate</p> <ul style="list-style-type: none"> -metal gates and grilles are features of police station <p>Intrusive</p> <ul style="list-style-type: none"> -Later-added window type air conditioners | <p>Within the building in general</p> |
| <p>B6</p> | <p><u>Arcade and verandahs on front elevation</u></p> <ul style="list-style-type: none"> -Rectangular and square columns with base, shaft and crafted capitals, -Solid parapet on 1/F and 3/F -Iron balustrades on 2/F -Sun-blade on 2/F facing east -Bell hood on 1/F |  | <p>Exceptional</p> <ul style="list-style-type: none"> -the elements within the verandah of the front façade gives special characteristic to the historic building <p>Moderate</p> <ul style="list-style-type: none"> -Sun-blade on 2/F facing east |  |



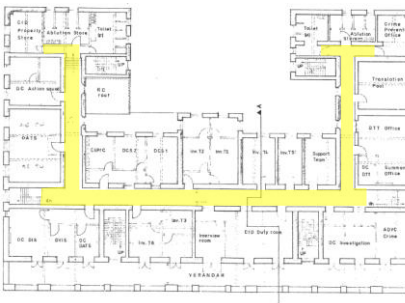
| | | | | |
|----|--|---|--|---|
| | <p>-Rendered and painted with grooved lines on walls and columns</p> |  | <p>Intrusive</p> <p>-Only one partition wall on 1/F verandah is original on before 1949 plan, other partition walls with openings on 1/f to 3/F dividing the verandahs into 3 bays are later added.</p> | |
| B7 | <p><u>Terraces</u></p> <ul style="list-style-type: none"> - At west wings facing courtyard - At east wing facing courtyard (now enclosed and covered with solid parapet wall) - At west wing facing adjacent lot (now enclosed and covered with solid parapet wall) |  <p>2/FWest wing facing courtyard</p>  <p>2/FEast wing facing courtyard (enclosed)</p> | <p>High</p> <p>-high level of authenticity</p> <p>Intrusive</p> <p>-later-added covers on enclosing east wing facing courtyard and west wing facing adjacent lot terraces</p> |  <p>2/F plan</p> |

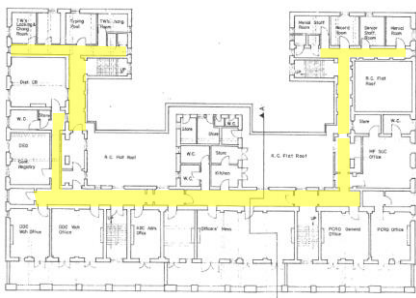
| | | | | |
|------------|--|---|--|--|
| <p>B9</p> | <p><u>Rectangular pediment with a flagpole</u></p> <ul style="list-style-type: none"> -In the centre of the front façade formed by the attic storey on roof -Rendered walls with grooved lines on attic storey at the other sides -Steel flagpole in the middle |  | <p>Exceptional</p> <ul style="list-style-type: none"> -outstanding feature at the centre highest position of the building -flagpole is one of the characters in Art-Deco style -original features in good Condition <p>Neutral</p> <ul style="list-style-type: none"> -Later-added antenna at the side |  <p>Front Elevation</p> <p>R/F plan</p> |
| <p>B10</p> | <p><u>Main roof</u></p> <ul style="list-style-type: none"> -Chimneys -Rain water surface channels -Dome shaped rain water outlets -Overflows -Pitched roof structure at the north-east corner |  | <p>High</p> <ul style="list-style-type: none"> -chimneys are feature of pre-war historic building -the roof drainage system is still functioning for over 90 years -overflows are seldom seen nowadays |  <p>R/F plan</p> |

| | | | | |
|-----|---|--|---|--|
| | |   | -pitched roof structure is an original feature | |
| B11 | <u>Historic cast iron rainwater pipes, hoppers and fittings with anchors</u> - At G/F arcade and verandahs |   | High -Original features of the building |  |

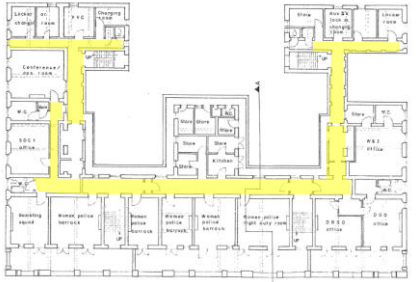
| | | | | |
|-----|---|--|---|---|
| B12 | <p><u>Drain hole</u></p> <ul style="list-style-type: none"> - At G/F arcade to street pavement |  | <p>Moderate</p> <ul style="list-style-type: none"> -Not easily recognized |  |
| B13 | <p><u>Former weapon loading/unloading area</u></p> <ul style="list-style-type: none"> -At rear elevation centre on G/F -Concrete canopy - Wooden strip panels backstop (it was now covered up with metal panels) |  | <p>Moderate</p> <ul style="list-style-type: none"> -Although it is not part of the original layout, it is an important space of a police station which can reflect the operation of police station -Become less significant as the weapon loading/unloading area has been relocated to the west in between 1992 to 2011 leaving this area unused afterwards. |  |

C. Internal Elements



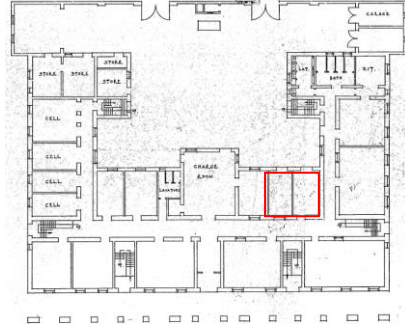
| Item No | Elements/Materials | Photo and Reference | Level of Significance | Location |
|---------|--|--|---|--|
| C1 | <p><u>Internal layout</u></p> <p>-General layout</p> <p>Authentic spaces:</p> <ul style="list-style-type: none"> - cell no.1-3 - 4 enclosed staircases - Mezzanine floor between G/F and 1/F at south east corner -Corridors with archways on G/F to 3/F |  | <p>Low (general layout)</p> <p>-Has been altered for several times to suit the Police Station's changing needs.</p> <p>High (Authentic spaces)</p> <p>-Little altered in the past</p> |  <p>G/F plan</p> <p>Cells no.1-3 (blue)</p> <p>Staircases (red)</p> <p>Corridor with archway (yellow)</p> <p>Mezz. Floor above (green)</p>  <p>1/F plan</p> |



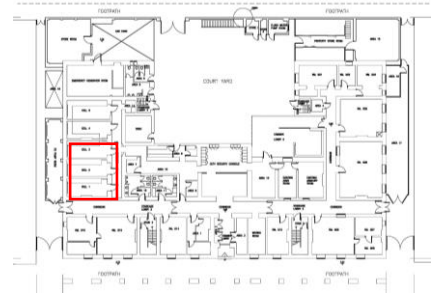


2/F plan



3/F plan

| | | | | |
|----|--|--|--|---|
| C2 | <p><u>Armoury Room</u></p> <ul style="list-style-type: none"> -Double layered steel doors -Steel shutter to windows with metal grilles and doors -Metal grilles and mesh -Service hatch for weapon with steel shutters and metal grilles -Signage with wording 'Armoury Wanchai Division' -Arm shelves -Blackboard showing the weapon record |  <p>Service hatch</p>  <p>Arm shelves</p> | <p>High</p> <ul style="list-style-type: none"> -Although they were not built in this location at the beginning and have been redecorated for several times in the past, the use retained the same since 1970s /80s -They are important features of police station |  <p>G/F plan</p> <p>Armoury room (red)</p> <p>Charge room (blue)</p> |
|----|--|--|--|---|

| | | | | |
|----|---|--|---|---|
| | |  <p>Blackboard</p> | | |
| C3 | <p><u>Cells no.1-3</u></p> <ul style="list-style-type: none"> -Signages -Metal grilles, meshes and gates with grilles, meshes, mortise locks, bolt locks and hatches -Metal windows and metal board covers -Concrete benches -Sanitary fittings -Moulding at door opening -Controlled corridor in front of the cell area with metal gate, grilles and meshes connecting to report room (corridor right in front is original but not the portion behind the gate) |  | <p>High</p> <ul style="list-style-type: none"> -These elements reflected the operation of a police station with retention facilities -The cells were built since 1932 and the configurations of the rooms remain the same till today |  <p>Cell no.1-3 G/F plan</p> |

-Stencilled signages on wall

Cell no.4-5

-Signages

-Metal grilles, meshes and gates with grilles, meshes, mortise locks, bolt locks and hatches

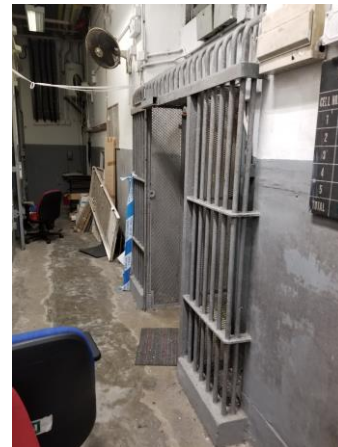
-Metal windows and metal board covers

-Concrete benches

-Sanitary fittings

-Moulding at door opening

-Stencilled signages on wall

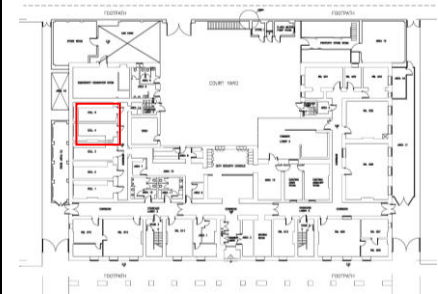


| WANCHAI POLICE STATION | | | |
|------------------------|------------------|---------------|---------|
| CELL NO. | NO. OF PRISONERS | MAX. CAPACITY | REMARKS |
| 1 | | 3 | |
| 2 | | 3 | |
| 3 | | 4 | |
| 4 | | 5 | |
| 5 | | 5 | |
| TOTAL | | | |








Moderate


-These elements reflected the operation of a police station with retention facilities



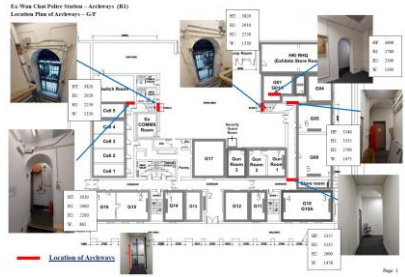
-The space was built as cells since 1932 but the configurations have been altered over the years

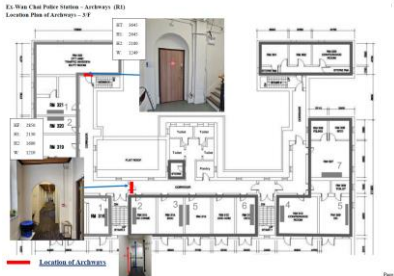
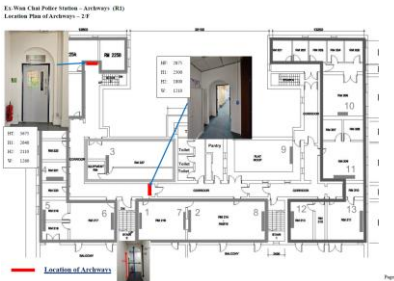
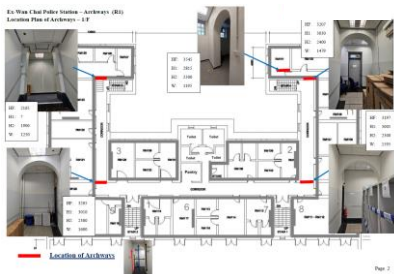




Cell no.4-5 G/F plan




| | | | | |
|-----------|--|---|---|---|
| <p>C4</p> | <p><u>Staircases</u></p> <p>-3 types</p> <p>I. <u>2 staircases leading to rear courtyard (red)</u> (Staircase 1& 4)</p> <p>-Metal balustrades and rails (top parts are later added)</p> <p>-Cement sand/shanghai plaster finished treads and risers</p> <p>-Metal barriers at windows</p> <p>II. <u>Single flight at end of east wing on 1/F (blue)</u></p> <p>III. <u>2 staircases next to Gloucester Road (green)</u> (Staircase 2 & 3)</p> <p>-Timber balustrades and rails (top parts are later-added)</p> <p>-Ladder access (with recesses on walls) to high level windows</p> <p>-Metal barriers with timber rails</p> <p>-Flights to G/F and 1/F were altered in 1992</p> <p>-Blocked openings with moulded frames remains on G/F of front elevation facing Gloucester Road</p> | <div data-bbox="768 236 987 523">  </div> <div data-bbox="790 531 965 560"> <p>Type I staircase</p> </div> <div data-bbox="1010 260 1229 555">  </div> <div data-bbox="768 584 972 850">  </div> <div data-bbox="748 863 990 893"> <p>Type I: Steps to M/F</p> </div> <div data-bbox="1010 603 1202 863">  </div> <div data-bbox="1025 868 1180 893"> <p>Type II staircase</p> </div> <div data-bbox="752 908 972 1193">  </div> <div data-bbox="748 1197 972 1235"> <p>Type III staircase: finished with tiles and stainless steel nosing (non-historic)</p> </div> <div data-bbox="987 908 1202 1193">  </div> <div data-bbox="981 1193 1202 1235"> <p>Type III: Ladder access to high level window with recesses on wall</p> </div> | <p>High</p> <p>-Most of the elements within the staircases are authentic especially the timber balustrades and metal ladders</p> |  |
|-----------|--|---|---|---|

| | | | | |
|-----------|---|---|--|---------------------------------------|
| <p>C5</p> | <p><u>Internal windows</u></p> <ul style="list-style-type: none"> - Original openings (some internal windows have been modified or blocked over the years) -Historic timber framed glazed/timber panelled windows -Brass ironmongeries |  | <p>High</p> <ul style="list-style-type: none"> -Historic design to reflect the 1930s | <p>Within the building in general</p> |
|-----------|---|---|--|---------------------------------------|

| | | | | |
|-----------|--|---|---|--|
| <p>C6</p> | <p><u>Timber doors</u></p> <ul style="list-style-type: none"> -Original openings (some with voussoirs on top) -Historic fanlights -Historic timber frames |  | <p>High</p> <ul style="list-style-type: none"> -Historic design to reflect the 1930s | <p>Within the building in general</p> |
| <p>C7</p> | <p><u>Archway</u></p> <ul style="list-style-type: none"> -Some archways are filled up with doors and walls -The shape of the archway remains visible |  | <p>High</p> <ul style="list-style-type: none"> -authentic structural element of the historic building | <p>Within the building in general</p>  <p>G/F plan</p> |



| | | | | |
|----|---|---|---|---|
| C8 | <p><u>Skirting with paint</u></p> <p>-Cement sand plastered skirting with paint</p> |  | <p>Moderate</p> <p>-This is commonly seen in historic buildings</p> | <p>Within the building in general</p> |
| C9 | <p><u>Fireplaces and stacks</u></p> <p>3 levels of remains:</p> <p>-Exposed fireplace with terrazzo finish, cast iron, marble and timber parts and a stack</p> <p>-blocked fireplaces & timber top with corbel</p> <p>-Remains of chimney stack</p> |  | <p>High (Fireplace exposed)</p> <p>-Most of the fireplaces were no longer existed</p> <p>-Design and material of fireplaces reflects the lifestyle in 1930s</p> <p>Moderate (Fireplace blocked)</p> <p>- timber top with corbel only reflects part of the CDE</p> <p>Low (stack only)</p> | <p>For Location refers to Chapter 5</p> |

| | | | | |
|-----|--|---|--|---------------------------------------|
| C10 | <p><u>Ceiling</u> with cove details (now covered up by false ceilings)</p> |  | <p>Moderate</p> <p>-This is commonly seen in historic buildings of western style.</p> | <p>Within the building in general</p> |
| C11 | <p><u>Furniture and fixtures</u> related to the operation of the Police Station, for example:</p> <p>G/F <u>Cell Area and corridor</u>: notice plaque for “Notice to persons detained”, “Police” wooden boxes, tower hooks and the blackboard for recording prisoners’ information.</p> <p><u>Corridor outside Rm. G05 – Resources Centre</u>: directional sign for “Report Room” and “Notice” to officers and staff regarding the display of warrant card.</p> <p><u>Landings of Stair 2 & Stair 3 at G/F</u>: tower hooks.</p> <p><u>Armoury Room</u>: blackboard and shelves for rifle</p> | <p>  Blackboard marking prisoners’ information outside the detention cells </p> <p>  Tower hook corresponding to the detention cell numbers outside the cells </p> | <p>Moderate</p> <p>-These elements reflect the operation in the police station</p> | <p>Within the building in general</p> |

| | | | | |
|--|--|---|--|--|
| | <p><u>Charge Room</u>: blackboard, shelves for cuffs, revolvers and walkie talkie etc.</p> <p><u>Outside the hatch of the Charge Room nearby Common</u></p> <p><u>Lobby 2</u>: 4 numbers of notice plaques with illustration on gun usage.</p> <p><u>2/F Landings of Stair 1 and Stair 4</u>: “Notice” of officers and staff regarding the display of warrant card.</p> <p><u>Corridor outside Rm. 214 and Rm. 216</u>: cloth hooks</p> <p><u>3/F Corridor outside Rm. 313</u>: cloth hooks</p> <p><u>Landings of Stair 4</u>: “Notice” to officers and staff regarding the display of warrant card.</p> | (photos of furniture and fixtures are not exhaustive) | | |
|--|--|---|--|--|



D. Surroundings

| Item No | Elements/Materials | Photo and Reference | Level of Significance | Location |
|---------|--------------------|---------------------|-----------------------|----------|
|---------|--------------------|---------------------|-----------------------|----------|

| | | | | |
|-----------|---|--|--|--|
| <p>D1</p> | <p><u>Circular turret</u> with an access staircase at the boundary wall along Jaffe Road</p> <ul style="list-style-type: none"> -Concrete staircase -Metal balustrade -Small square openings |  | <p>Exceptional</p> <ul style="list-style-type: none"> - Icon feature of police station |  |
| <p>D2</p> | <p><u>Fence walls</u> and main gates along Jaffe Road</p> <ul style="list-style-type: none"> -Painted brick wall with metal spikes -Metal gate with wording “Wanchai Police Station”, 灣仔警署 |  | <p>Moderate</p> <ul style="list-style-type: none"> -The gate was installed in 2003, not the original design - The brick fence wall has been modified over the years. Due to car accident in 2018, part of the wall was reconstructed -The metal bars on the top of brick wall reflected the security feature of police station |  |

| | | | | |
|----|---|---|---|--|
| | |  <p>Fence walls</p> | |  |
| D3 | Store room and flush water pump room adjacent to Turret |  | <p>Neutral</p> <p>-The addition is not prominent and does not impose visual impact on the courtyard layout and the façade.</p> |  |

HIA for Old Wan Chai Police Station

| | | | | |
|----|--|--|--|---|
| D4 | Guarding post numbers painted on wall in building, turret and fence wall |  | Moderate -it reflected the operation of police station | Within/ outside the building in general |
| D5 | Metal gates at side lanes |  | Low -Later design |  <p>NOTE: All information on this drawing does NOT represent an accurate copy or account of the building. Users should verify positions and dimensions on site BEFORE using.</p> |

7.0 DEVELOPMENT OF CONSERVATION POLICY

7.1 Modern requirements and current conditions

The OWCPS is a government building built in the 1930s, and hence some of its design does not comply with current building regulations for means of escape, means of access, fire resisting construction, barrier free access, etc. Certain degrees of essential modern day building services and facilities such as fire services installations and air conditioning are provided. In order to revitalize for adaptive reuse, additions and alterations to existing building, such as removal of walls and addition of staircases for means of escape and disabled lift for disabled access, would be inevitable. Intrusive later-added structures will be removed to enhance the heritage value if possible. Major site survey including ground investigation, asbestos and underground utilities will be carried out. Heritage interpretation will be provided for the historic building.

Protective Barrier

The existing parapets of verandahs, terraces, and balconies, could not comply with the current building regulations in terms of height etc. Appropriate method such as adopting management approach by placing planters at verandah and terraces will be used to apply for exemption of upgrading works.

Natural Lighting and Ventilation

Application for the exemption of the Regulations from Building Authority in case it does not comply with current Buildings Regulations and Mechanical ventilation will be provided as compensation.

Barrier Free Access

The historic building has limited barrier free access. No accessible lift is provided to access the upper floors. New disabled lift is required to comply with the current Building Regulation. The lift will be located externally at a least obstructive but convenient place in the building.

Means of Escape

The existing staircases in terms of travel distance, width and gap of stair opening, etc cannot comply with the current building regulation requirement. New staircases complying with the current requirement will be provided externally at a least obstructive but convenient place. Fire engineer approach will be adopted to minimize the alteration and addition works which will have adverse impact to the heritage value of the historic building.

Fire Resisting Construction

The historic building should be followed the London County Council (LCC) By-Laws 1915. The concrete cover for beam, slab and column most likely cannot comply with current statutory requirements. Further investigation will be carried out. The building will be upgraded to comply with current fire resisting period requirements if necessary.

Fire Service Installation

The existing fire provisions comply with the minimum statutory requirements such as hose reels, sprinklers system, FS/Sprinkler tank etc. Additional Fire Service Installations will be required for Fire Engineering Approach for the adaptive reuse.

Building Services Installation

The existing building services provision such as electricity, plumbing and drainage are sufficient for current use. Since the conserved building will be adapted to new use in future, the existing building services system may not be adequate and has to be upgraded to comply with current Buildings Regulations. The existing A/C are window type units, they will be replaced by VRV system. The VRV units will be located on roof and/or other least obstructive areas. Existing toilet provision is adequate for the new use.

7.2 Condition of Fabric

Condition of Existing Structures

The OWCPs was built in 1932 and has no record of any structural plan or supporting design documents. As the building is still under operation, visual inspection reveals that the main structural system of the building comprises mainly reinforced concrete slab/beam with brick load bearing walls. There seems to have no sign of structural distress or spalling concrete in accessible areas.

Structural Appraisal

Over the years, the building has been renovated and altered for several times to suit operation needs. A design and build contractor has been commissioned to conduct a detailed structural survey and to assess the physical constraints and conditions of the existing structures.

Loading Assessment

For 1930s buildings in Hong Kong, the design standard used should be London County Council (LCC) By-Laws 1915. Based on the assumption that the LCC By-Laws 1915 was a reference to structural design, a comparison table on the design live load between LCC By-Laws 1915 and the current Building Construction Regulation is presented as below:

| Usage of Floor | LCC By-Laws 1915 | Current Building Construction Regulations |
|--|--|---|
| | Design Superimposed Loads ^b (kPa) | Design Imposed Loads ^a (kPa) |
| Office | 4.8 kPa (100 psf ^c) | 3.0 kPa (Class 2) |
| M&E Room | 7.2 kPa (150 psf ^c) | 7.5 kPa (Class 5) |
| Domestic | 3.35 kPa (70 psf ^c) | N/A to proposed conversion |
| Stairs & Landings | 5.8 kPa (120 psf ^c) | same as designated floor to which they give access, but not less than 3.0 kPa (Class 8) |
| Inaccessible Roof (for maintenance only) | 2.7 kPa (56 psf ^c) | 2.0 kPa (Class 7A – Flat Roof) |

^a The imposed load refers to Code of Practice for Dead and Imposed Loads 2011, which is a current guideline issued by Buildings Department

^b Superimposed Load under LCC By-Laws 1915 includes all load other than dead load, where dead load shall consist of the actual weight of all permanent construction in such building

^c psf – pounds per square foot

Any change of use of different parts of the building would be limited by the design superimposed loading capacity to avoid excessive structural strengthening work.

However localized structural strengthen works will be required to fulfill operation need for the end-users :

1. Partial demolition of load bearing brick walls for the new openings and combine of two smaller rooms into a larger room.
2. A/C units on roof

Independent foundations and structural steel frames will be used for additional structures such as lift and staircases.

7.3 Users' Requirement

Due to operation need, large rooms with over 50 persons or over 120 persons are required on different floors. Existing rooms are not big enough. Some rooms have to be combined to fulfil the requirement. Security is another concern in the new design. Layout is modified to suit the security control. Some rooms need to be soundproof to comply with the standard of operation. Circulation flow needs to be improved by adding by pass corridors.

7.4 Conservation Policy and Guidelines

a) Objectives

Based on the Statement of Significance established and the assessment of the existing condition of the historic building, the Conservation Objectives adopted for the preservation of the OWCPS are as follows:

- Minimum intervention approach of preserving the OWCPS for long term protection and reduce the complexity of the construction works involved;
- Adaptive reuse for a new compatible use in future.

b) Standards

This HIA is based on the following international standards and local reference:

- The Venice Charter: UNESCO – ICOMOS
- The Burra Charter: Australia ICOMOS
- Principles for the Conservation of Heritage Sites in China: China ICOMOS
- Conservation Plan: NSW National Trust

c) Principles

The following conservation principles will be used in this preservation project:

- Retain Authenticity & Integrity
- Minimum Intervention
- Maximum Reversibility

d) Guidelines

General Conservation Approach

Early consultation with AMO is encouraged before preparing detailed design for any alteration and addition works or change of use on the OWCPS. When undergoing any alteration and addition works, the historic building should be properly upgraded to meet the same level of safety and health in respect of the new use as in case of new buildings. The need for preserving the significant character of defining elements, site constraints or prohibitive upgrading cost

may limit the type of use that may be chosen for the OWCPS. Every effort should be made to preserve the facades of the OWCPS. Alteration and addition works, if necessary, should be undertaken at the back or other less visually prominent location of the OWCPS. The original external facades of the OWCPS should generally be left either unaltered or undisturbed. External redecoration is restricted to colours that are compatible with the age and character of the OWCPS and the proposed paint system must be reversible. Any fixed signage should be compatible with the period, age and character of the building and approved by AMO prior to installation. There is no restriction on the type or design of temporary signage, provided that the number of such signs is not excessive.

i. Management of Change of Use

The following Conservation Policies and Guidelines are formulated to provide guiding principles for future conservation and adaptive reuse of the Police Station.

Policy 1

The OWCPS Building was originally used as a police station from ground to third floor. The future use of the building should be compatible

Guidelines

- The future change in use from G/F to 3/F should be compatible use to the heritage building to promote peaceful resolution of disputes and the spirit of the rule of law.

ii. Building Fabrics

The following Policies and Guidelines are for guiding future conservation treatments of the existing fabric and retention of the identified Character Defining Elements (CDEs):

Policy 2

The main conservation approach of “repair and restoration” is adopted for the CDE exemplified by the position of Gloucester Road façade of the OWCPS which is the key feature of the historic building.

Policy 3

The key CDEs should be preserved with minimum intervention in order to retain the architectural merit of the heritage.

Guidelines

- The key CDEs and features identified of high & exceptional level of significance should be retained and repaired as far as possible. Those of

moderate/ low/ neutral level of significance can be altered or salvaged for reuse. Intrusive elements should be removed from the building according to *6.4 Character Defining Elements (CDEs)* as stated in this HIA as far as possible.

- The deep and thin sunshades overhangs and projections of the facades should be repaired and restored.
- The timber windows of the facades from G/F to 3/F should be repaired as far as practicable and replaced with same colour and design matching the existing style if beyond repair and need upgrading. They are to retain the architectural significance of the 1932 modern style police station.
- The prominent intrusive elements and temporary structure should be removed to open-up the façade with reference to 1930s photo.
- The roof floor with no access for the public as it was before can be designed to place the light weight E&M facilities especially air-conditioners. It can help to minimize intervention to the façade and interior space for the additional building services required to support the change of use.

iii. New Alteration and Addition

The following Policies and Guidelines are for guiding future design of new alteration and addition works to the building:

Policy 4

Any new alteration and additional works to the façade of the building should be at less obstructive location and not affecting the characters exemplified by the main façades of the building and the U-shaped layout.

Policy 5

The new alteration and addition works should be of compatible design and distinguishable from the existing building fabrics. Such alteration and addition works should be with minimum intervention and maximum reversible design to avoid unnecessary damage to the existing building fabrics in future removal.

Guidelines

- New addition and alteration works for the compliance of current regulations and standards, such as the new staircase, lift and mechanical plant rooms are located at the internal facade and roof of the building, set away from the Gloucester Road façade.
- New structure higher than the existing building shall be avoided.
- The new staircase and lift of the building should be constructed by lightweight structure such as steel to minimize disturbance and nuisance in

site. They should be independent and reversible structures.

- For the building materials for the new addition, they should be reversible such as steel, aluminum and glass. The colour and texture should be compatible to the historic building.

iv. Provision of Building Services

The following Policies and Guidelines are for guiding future additions, upgrading and improvement of building services and utilities to suit the adaptive reuse requirements:

Policy 6

Addition building services provisions such as new water tanks should be put within the building or in a less obstructive area.

Policy 7

Any exposed pipelines should be laid in a neat and tidy manner with respect to the original building.

Guidelines

- The new addition of building services installations such as water tank, plant rooms, air-conditioning units, fire services and sprinkler tanks should be located in a less obstructive area and of minimal size with careful consideration to visual impact of the building.
- The E&M services are preferably be located at the roof level and verandahs which should not be accessed or with sufficient protective barrier to limit the access and not easily visible by the public.
- Enclosures for the building services provisions should be designed in a compatible style but distinguishable from the existing building fabric.

v. Setting and Landscaping

The following Policies and Guidelines are for guiding future design of the courtyard area:

Policy 8

The ambience and details of the landscape design should be compatible to but also distinguishable from other of the preserved building.

Guidelines

- The courtyard at the rear of the building should be retained open and uncovered and upgraded with design which should be compatible and distinguishable to the architectural style of the existing building.

vi Interpretation

The following Policies and Guidelines are for guiding future interpretation of the historic building:

Policy 9

This project could facilitate promoting public appreciation of the cultural significance of the Police Station by proper site interpretation.

Guidelines

This goal can be achieved by the following means:

- Preserve and revitalize the building by keeping the major façades and balconies of the building
- Establish a display area to showcase the historic artifacts, historical photographs of the heritage building and background story, history of the Police Station and architectural merits of building.
- Special features reflecting the operation of the OWCPs such as cells and armoury to be opened to visitors if possible.
- Salvation of historic fixtures and furniture as listed for future display if possible
- It is recommended that the proposed display area will be used as a heritage interpretation means to tell the story and cultural significance of the OWCPs and HKPF to visitors and public by display of old photographs, interpretive panels, historical objects and artifacts.

vii. Documentation

The following Policies and Guidelines are for guiding future documentation of the historic building:

Policy 10

Documentation to enable the monitoring, maintenance and understanding needed for conservation by the supply of appropriate and timely information.

Guidelines

- A documentation mechanism shall be set up. All the studies, researches, investigation findings, mock up results shall be kept in proper filing.
- It is proposed to document the whole process of restoration and adaptation of the OWCPs for record and future interpretation material. Cartographic, photographic surveys before and after the renovation, restoration and adaptation shall be carried out.
- In case there is change in future, a heritage consultant should be employed to record and document the change of the building if any major repair/ construction works are needed.

viii Management & Maintenance

The following Policies and Guidelines are for guiding future management of the historic building:

Policy 11

The management system of the operator should be with consideration of conservation management

Guidelines

- The building management team of the operator should recruit members with heritage conservation knowledge. If not, heritage consultant should be employed to have constant review of the conservation aspect of the building. Record of routine management should be kept for future reference.

Policy 12

A Maintenance and Management Manual shall be drawn up, to ensure that the building is kept in good condition and properly used during operation. This shall include a detailed plan for the regular upkeep of the built fabric to be issued to the building management team and operational staff of the building.

Policy 13

To facilitate conservation of the Site, the property management and operation teams would ensure understanding of the cultural significance of the Site and have certain knowledge as to how to conserve it.

Guidelines

- Such Maintenance and Management Manual should include but not limited to frequency of inspection of building fabrics especially on CDEs and guidelines on their repair and maintenance should also be stipulated.
- Building inspection, repair and maintenance should be carried out on a regular basis as per such guidelines / manual.
- All the above activities should be recorded accordingly.
- Training of staff especially the property management and operational teams on the cultural significance of the Site
- Repair proposals should be submitted for AMO, architect and heritage consultant's approval and agreement as necessary.

8.0 PROJECT PROPOSAL

8.1 Proposed use, layout and setting

The project will convert and refurbish the OWCPS for setting up the headquarters of the IOMed, including renovation works for the site and existing building, and setting up of office, mediation and related supporting facilities.

The building form and setting remain unchanged. Intrusive elements on the existing building will be removed to reveal the original design of the historic building. Upgrading works to comply with current statutory requirements will be carried out such as improvement of means of escapes and disabled access etc. that will be described in the following section. The layout will be modified to suit the new use.

The ground floor will have front entrance for pedestrian access and rear entrance for vehicular access. Reception area, exhibition area, interpretation area, staff offices, meeting rooms and plantrooms will be provided at ground floor. The CDEs (turret & access stair, fence wall, armoury room, one of the cells will be preserved in-situ. Different size of mediation hearing facilities will be provided on first floor. Staff offices and mediation hearing facilities will be provided on second floor. Offices for operational staff will be provided on third floor. Most of the exposed fireplaces on different floors will be preserved in-situ. Although 1 no. of existing exposed fireplace will be removed, the blocked fireplaces will be restored if possible. Potential restored fireplace refers to figure no. 5.2.8 - G/F: (Red: no. 4 and 5; Blue: no. 1); figure no. 5.2.9 - 1/F: (Red: no. 2,4,5,7,8,9, and 10; Blue: no.1); figure no. 5.2.10 - 2/F: (Red: no. 4 and 8); and figure no. 5.2.11 - 3/F: (Red: no. 7). Salvaged parts of the fireplace will be reused as far as possible. Reference will be made to the original design for the restoration.

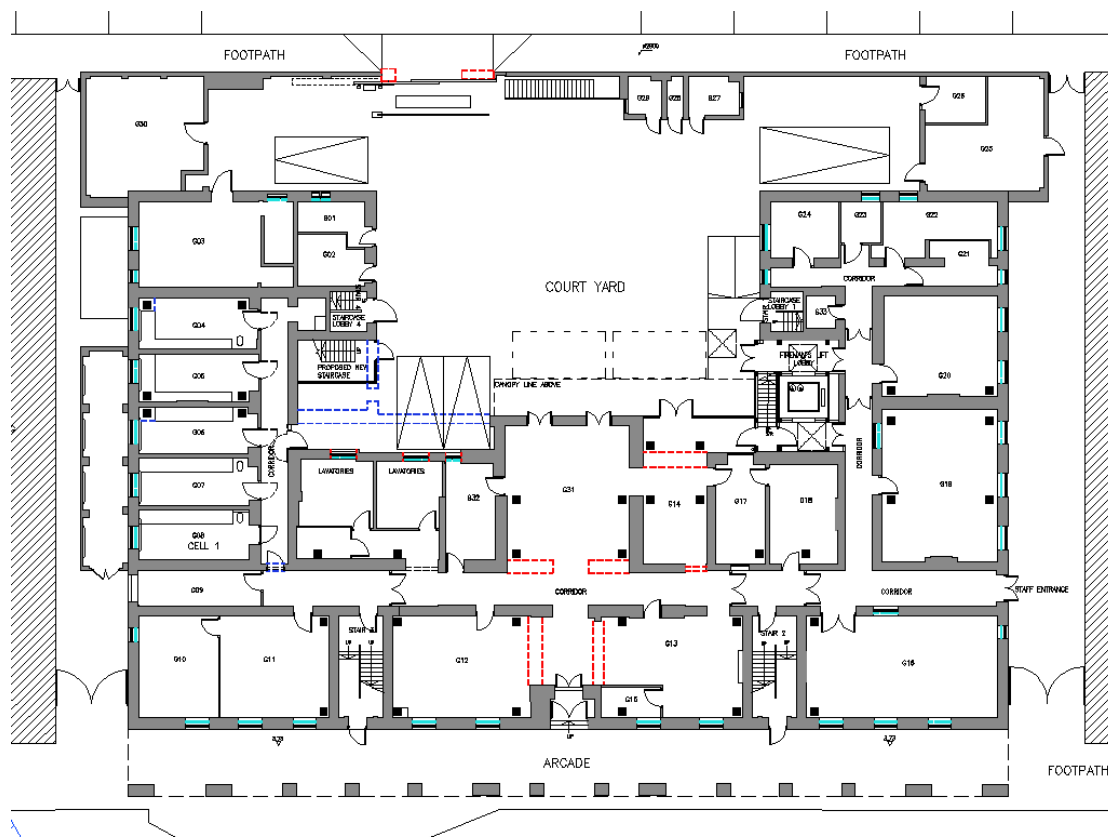


Fig.8.1.1 Proposed G/F plan



Fig.8.1.2 Proposed Mezz. & 1/F plan

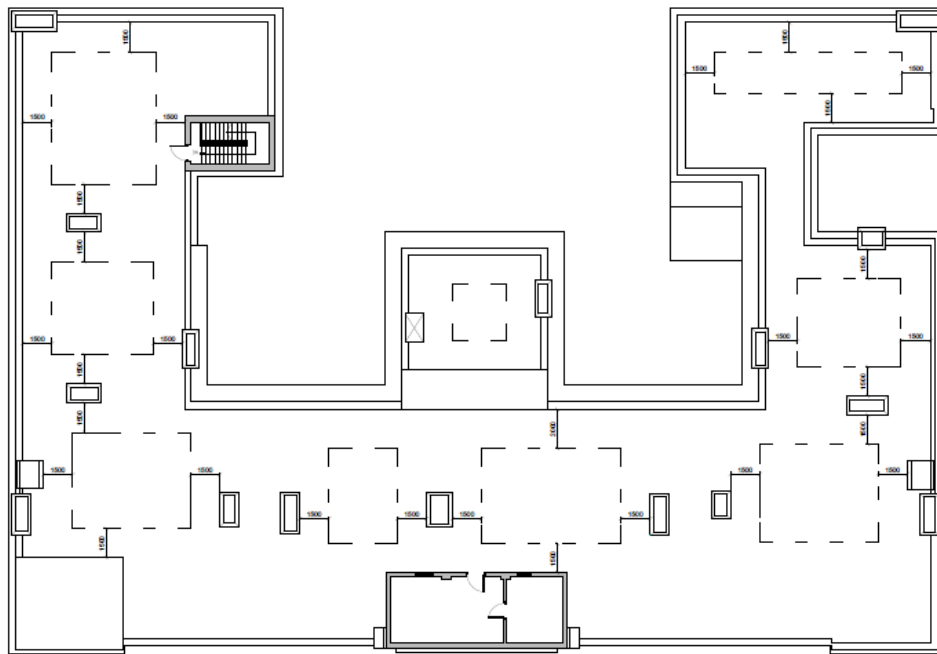


Fig.8.1.5 Proposed Roof plan

The original window openings being blocked on the front elevation, side elevations, rear elevation and inner elevations facing rear courtyard will be restored if possible. There will be no change in the general appearances of the front elevation. Due to security reason, the existing intrusive metal panels at the west and east side elevations on 1/F verandah will be removed and replaced by transparent laminated glasses. The major addition works which will affect the building form are the external lift shaft and external staircases from G/F to 1/F at the recess of inner elevations facing the rear courtyard. Glass canopy and corridor will be added at the G/F of rear elevation. External corridor with glass façade will be added at east and west terraces on 2/F.



Fig.8.1.6 Proposed front elevation [by author]

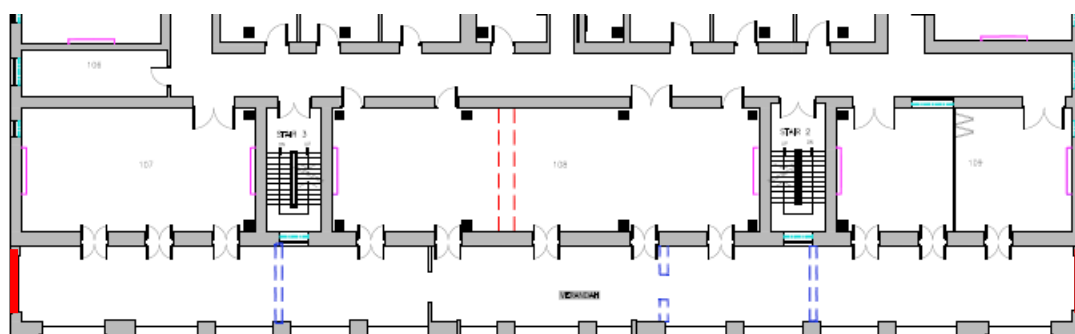


Fig.8.1.7 metal panels on 1/F verandah west & east side elevations will be replaced by transparent laminated glasses

The following works will be carried out to comply with current statutory and operation requirements: (Drawings refers to Appendix B – Proposed Design)

1. Addition of lift shaft and two staircases at the courtyard to comply with current statutory requirements for disabled access and means of escape.
2. Demolish later-added temporary structures, including storage area located on the west and covers to parking in the south, rooms on 2/F east wing terrace, room on 2/F terrace facing west side lane, room on G/F besides staircase 4, detention cell, fabric canopies at G/F, partitions at verandahs, and metal

panels at west and east side of 1/F verandah.

3. Works at all façades:

Remove all redundant pipes, ducts, conduits, etc as necessary and remove all window type air-conditioners and their metal supports, restore and reinstate altered windows. Preserve in-situ and repair original façades, window or door heads and sills, metal grilles on windows and granite door thresholds. Repaint external walls with reversible paint system.

4. Works at the front elevation:

Preserve and repair historic metal grilles and meshes on G/F. Reinstate door openings of staircases 2 and 3. Remove later-added aluminum cladded frame and door at main entrance on G/F. Replace later-added metal panels with clean laminated glass at 1/F verandah, facing east & west. Restore blocked windows and their openings. Preserve and repair in-situ the bell hook on 1/F verandah and the sun-blades at 2/F verandah.

5. Works at the rear elevation:

Restore blocked French windows and their openings. Add glass canopy and glass enclosure at G/F as security provision. Add glass enclosed corridors at 2/F west and east wings.

6. Works at the inner side elevation:

Enclose existing covered walkway with glass enclosures at 2/F and 3/F west and east wings.

7. Works at the side elevations:

Restore all blocked windows and their openings. Replace the later-added brick wall enclosures at open covered walkway with glass enclosures at 2/F and 3/F west wings. Restore altered portion of external wall.

8. Works on main roof:

Install BS equipment, ductwork, pipe works and the associated structures.

9. Works on the interior:

Repair and repaint the timber frames of windows, historic paneled or glazed doors, fanlights and skirting as necessary. Remove the later-added aluminum windows and fanlights and replace with timber framed windows of

design following the original windows. Replace all false ceilings and repair the coved and detailed ceiling as necessary. Remove the gates at French windows on 1/F. Restore the modified fanlights and windows due to installation of air-conditioners or other later-added building services; and restore all blocked windows (blocked by brickworks/ panels/ fixture/ furniture/ partitions) and painted glazing as necessary. Apply 3M security films to window and door glazed panes to enhance security. Install secondary windows and doors/ fire-rated fixed glass to door and window openings for acoustic purpose. Repartition the internal layout of G/F to 3/F and the associated structural strengthening works including demolition of two side walls at the corridor adjacent to the main entrance; enlarge the existing report room wall opening to increase waiting area; and demolish the walls in between rooms and corridor to form larger rooms on 1/F and 2/F respectively. Preserve the archways and openings with voussoirs as much as possible. Preserve armoury rooms and cells no. 1-3 on G/F with original configurations for new use and will be opened to visitors if possible. Restore blocked fire places at original locations as many as possible.

10. Works in staircases 1 and 4 :

Preserve, repair and repaint the metal balustrades and rails. Add metal handrails on the wall side. Remove the later-added aluminum nosing and restore the original finishes in staircases.

11. Works in staircases 2 and 3:

Reinstate the direction of exit at the last flight to G/F. Preserve, repair and repaint the timber balustrades and rails. Add metal handrails on the wall side. Preserve in-situ the metal ladder together with the recesses on walls.

12. Works on the surroundings:

Preserve the turret and staircase structure in-situ. Enlarge fence wall opening with new metal gate for vehicular access and repaint the fence walls. Preserve, repair and repaint guarding post numbers painted on wall in building, turret and fence wall. Replace the gates with a new one for the rear entrance and the side lanes. Enhance the landscape of courtyard area with new paving materials and design.

9.0 HERITAGE IMPACT ASSESSMENT

9.1 Impact Level

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| Impact level | The evaluation of heritage impact assessment in the proposal is classified into five levels of impact based on the type and extend of the effects concluded in the Heritage Impact Assessment: |
| Beneficial impact | The impact is beneficial if the proposal will enhance the preservation of the heritage site; |
| Acceptable impact | The assessment indicates that there will be no significant effects on the heritage site; |
| Acceptable impact with mitigation measures | There will be some adverse effects, but these can be eliminated, reduced or offset to a larger extent by specific measures; |
| Unacceptable impact | The adverse effects are considered to be too excessive and are unable to mitigate practically |
| Undetermined impact | The significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question. |

| Item No | Assessment items/ Proposed Works | Affected CDEs | Level of Significance | Impact Level | Mitigation Measures & suggested treatments |
|---------|---|---------------|-----------------------|--|---|
| General | | | | | |
| A1 | Conversion of OWCPs into mediation facilities | N/A | N/A | Acceptable impact with mitigation measures | -Photographic and cartographic surveys of the affected CDEs before commencement of works -Interpretation strategy to present the historic development of site and its cultural significance to the public should be formulated |

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| | | | | | -Guided tour to preserved Armoury rooms and preserved cell to be arranged for guests with invitation |
| A2 | Alteration & addition works on the building structure will be carried out to comply statutory and operation requirements | CDE item A2 Building structure | High | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Photographic and cartographic surveys of the affected CDEs before commencement of works -Conduct condition survey and structural survey -Minimum intervention for new operation needs or comply statutory requirements -Independent foundation & structure -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design |
| A3 | Addition of lift shaft and 2 staircases and a ramp at the courtyard to comply current statutory requirements for disabled access and means of escape | CDE item A3 U-shape layout | High | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Installed at less prominent location and recessed area such that the U-shape layout could be kept -Height of the lift shaft shall be kept to a minimum not higher than the top level of existing parapet walls at roof if possible -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design -Independent foundation & structure -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -For enlargement of original windows to form door openings to connect to new lift shaft or staircase, the original timber |

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| | | | | | windows will be salvaged for reuse as far as possible. |
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External Elements

| Item No | Assessment items/ Proposed Works | Affected CDEs | Level of Significance | Impact Level | Mitigation Measures & suggested treatments |
|---------|--|---|--------------------------------------|---|---|
| B1 | Demolish later-added temporary structures, including storage area located on the west and covers to parking in the south, rooms on 2/F east wing terrace, room on 2/F terrace facing west side lane, OSSU (Operation Support Sub-unit) Office, detention cell, fabric canopies at G/F and metal panels at west and east side of 1/F verandah Restore altered portions of external walls Later added FS tank & pump room on east lane to be | CDE item B2 Side elevation facing adjacent lots CDE item B3 Rear elevation (facing Jaffe Road) CDE item B4 Inner side elevations facing rear courtyard | Moderate High Moderate | Beneficial Impact Beneficial Impact Beneficial Impact | -Photographic and cartographic surveys of the affected CDEs before commencement of works -Conduct condition survey and structural survey -Precautionary measures during demolition -Removal with care to avoid damage to historic fabric -Repair structure as necessary and replace damaged brickwork if beyond repair. -Make reference to unaltered portions for restoration works. |

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| | maintained due to operation need | | | | |
| B2 | Remove all redundant pipes, ducts, conduits, etc as necessary | CDE item B1 Front elevation CDE item B2 Side elevation facing adjacent lots CDE item B3 Rear elevation (facing Jaffe Road) CDE item B4 Inner side elevations facing rear courtyard | Exceptional Moderate High Moderate | Beneficial impact | -Relocate unsightly ones to minimize visual impact. -Conduct condition survey and structural survey -Precautionary measures during removal -Removal with care to avoid damage to historic fabric -Repair structure as necessary and replace damaged brickwork if beyond repair. |
| B3 | Preserve in-situ, repair and repaint all external walls, balustrades or parapets Apply for exemption of non-compliance of protective barrier requirements | CDE item B1 Front elevation CDE item B2 Side elevation facing adjacent lots CDE item B3 Rear elevation (facing Jaffe Road) CDE item B4 | Exceptional Moderate High Moderate | Acceptable impact with mitigation measures | -Use management approach such as putting planters or restricted areas -Inaccessible by public at some areas of verandahs, balconies and covered walkway -Use planters behind solid parapets on 1/F & 3/F verandahs -Recess railing or tensile barrier for 2/F verandah away from existing metal balustrades -Use full height glass enclosure for the covered walkways on 2/F & 3/F |

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| | | Elevations facing rear courtyard | | | -Repaint external walls with reversible paint system. |
| B4 | Remove all window type air-conditioners and their metal supports, restore and reinstate altered original windows and doors | CDE item B5 Historic timber windows/doors on all elevations | High | Beneficial impact | -Removal with care to avoid damage to historic fabric -Make reference to the existing unaltered ones to restore the original design of windows |
| B5 | -Preserve in-situ and repair original window or door, window / door heads and sills, granite door thresholds, metal gates & grilles -Apply 3M security film to window/door glazed panes to enhance security -Reinstate windows and doors blocked in brick due to changes over years -Modify windows or doors openings to meet statutory or | CDE item B5 Historic timber windows/doors on all elevations Metal gates and grilles | High Moderate | Beneficial Impact Beneficial Impact Acceptable impact with | -Make reference to the existing unaltered ones to restore the original design of windows & doors -Clean granite thresholds with bristle or nylon brushes and clean water, but no application of any corrosive cleaning chemicals. -3M security film to be applied shall be reversible, transparent and clear -Remove infill materials of blocked windows and doors -Reconstruct new windows and doors with reference to the existing unaltered ones to restore the original design of windows & doors -Add a new layer of window or door behind the original window or door to fulfil the statutory or operation requirements |

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| | operation needs such as fire rating, security and acoustic purposes | | | mitigation measures | -These secondary windows or doors or fire-rated fixed glass shall be installed on the internal side with compatible and distinguishable design and not affecting the external appearance of windows and doors |
| B6 | New wall opening to the existing external walls at G/F rear elevation and 2/F elevations facing rear courtyard | CDE item B3 Rear elevation (facing Jaffe Road) CDE item B4 Inner side elevations facing rear courtyard | High Moderate | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -New openings should be at less prominent location -Conduct condition survey and structural survey. -Repair structure as necessary and replace damaged brickwork if beyond repair. -Keep structural alteration minimal. Removal of structural bricks shall be approved by RSE with precautionary measure such as settlement, tilting and vibration checkpoints -Structural strengthening shall be approved by RSE -New structural elements such as beams and columns added due to demolition of walls, shall be kept to the minimum in terms of members and sizes with appropriate finishes to reduce visual impact. -All new structural elements should be suitably located to avoid imposing visual impact on the original window/door openings -Foundations and structure should be independent -Damage to the cove details on ceilings shall be kept to a minimum |

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| | | | | | -Sound bricks will be salvaged for future use |
| B7 | Remove the metal grilled gates on 1/F French windows to make way for secondary door Preserve and repair the metal grilles and meshes on windows as far as possible | CDE item B1 Front elevation CDE item B5 Historic timber windows/doors on all elevations | Exceptional | Acceptable impact | - Make reference to the existing unaltered ones to restore the original design of metal grilles -De-rusting and re-painting with care --Reversible on paint finishes. |
| B8 | Reinstate door openings of staircases 2 & 3 on G/F at Gloucester Road to comply with current statutory requirements for means of escape | CDE item B1 Front elevation | Exceptional | Beneficial impact | -Compatible and distinguishable design for the new door at the openings -Make reference to historic photo to reinstate the openings if possible |
| B9 | Remove later-added aluminum clad frame and door on G/F main entrance | CDE item B1 Front elevation | Exceptional | Beneficial impact | -Make reference to historic photo if possible |
| B10 | Replace later-added metal | CDE item B1 | Exceptional | Acceptable | -Structural support for the glass to be hidden behind the |

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| | panels with clean laminated glass to meet operation needs for security on 1/F verandah, | Front elevation facing east & west | | impact with mitigation measures | existing column and beam -Lightweight reversible construction (glass & steel) -Glass in one piece for each bay as far as possible to minimize obstruction in view. In case joints are unavoidable, butt joint glass without mullion to be applied |
| B11 | Remove later-added partitions on 1/F to 3/F verandahs | CDE item B6 Arcade and verandahs on front elevation | Exceptional | Beneficial impact | -Photographic and cartographic surveys before commencement of works -Conduct condition survey and structural survey -Precautionary measures during demolition -Removal with care to avoid damage to historic fabric -Repair structure as necessary and replace damaged brickwork if beyond repair. |
| B12 | Preserve & repair in-situ. the bell hook on 1/F verandah | CDE item B6 Arcade and verandahs on front elevation | Exceptional | Beneficial impact | -Repair with care to avoid damage to historic fabric |
| B13 | Preserve & repair in-situ. the sun-blades on 2/F verandah | CDE item B6 Arcade and verandahs on front elevation | Exceptional | Beneficial impact | -Repair with care to avoid damage to historic fabric |
| B14 | Add glass canopy at G/F rear | CDE item B3 | High | Acceptable | -Use glass material to reduce the visual impact on facade |

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| | elevation to meet operation needs for weather protection | Rear elevation | | impact with mitigation measures | <ul style="list-style-type: none"> -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design -Fixing on the façade should be minimized as far as possible |
| B15 | Remove the weapon loading/unloading area, restore the original door opening and convert the original window opening to door opening for new rear entrance from courtyard. Add enclosed corridor on G/F rear elevation to meet operation needs for security & circulation | <p>CDE item B13 Former weapon loading/unloading area</p> <p>CDE item A3 U-shape layout</p> | <p>Moderate</p> <p>High</p> | <p>Acceptable impact with mitigation measures</p> <p>Acceptable impact with mitigation measures</p> | <ul style="list-style-type: none"> -Use glass material to reduce the visual impact on façade -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design -Independent structure and foundation -Photographic and cartographic survey for the former weapon loading/unloading area to be carried out before removal works -New corridor will not affect the U-shaped layout in general |
| B16 | Add corridors on 2/F at the east and west terraces to meet operation needs for larger internal space & circulation | <p>CDE item B7 Terraces</p> <p>CDE item B3 Rear elevation (facing Jaffe Road)</p> | <p>High</p> <p>High</p> | <p>Acceptable impact with mitigation measures</p> | <ul style="list-style-type: none"> -Use glass material to reduce the visual impact on façade -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design -Set back from the façade to reduce visual impact |
| B17 | Enclose existing covered walkways with glass enclosures at the 2-3/F east & | CDE item B8 Balconies and open covered walkway | High | Acceptable impact with mitigation | <ul style="list-style-type: none"> -Only at less prominent areas at the side corridors facing the rear courtyard & side lane will be enclosed. The centre corridor of rear elevation facing Jaffe Road will keep open |

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| | west wings including replacing the later-added brick wall enclosures with glass enclosures at the covered walkways on 2/F and 3/F west wing adjacent to terrace facing the side lane to meet operation needs for human comfort and security | CDE item B7 Terraces : 2/F west wing adjacent to terrace facing the side lane CDE item B3 Rear elevation (facing Jaffe Road) CDE item B4 Inner side elevations facing rear courtyard | Moderate High Moderate | measures | -Lightweight reversible construction (glass & steel) -Compatible and distinguishable design -Structural support for the glass to be hidden behind the existing column and beam -Clear glass with partial 3M security film will be adopted to minimize visual impact and to allow penetration of natural light through walkways in line with original design -Glass in one piece for each bay as far as possible to minimize obstruction in view. In case joints are unavoidable, butt joint glass without mullion to be applied |
| B18 | Install BS equipment, ductwork, pipe works and the associated structures at roofs. | CDE item B10 Main Roof CDE item B7 Terraces : 2/F west wing adjacent to terrace facing the side lane | Moderate | Acceptable impact with mitigation measures | - Reversible construction -Set back from the parapet and concealed from street level -Architectural screening will be provided on 2/F to reduce the visual impact view from covered walkways |

C. Internal Elements

| Item No | Assessment items/ Proposed Works | Affected CDEs | Level of Significance | Impact Level | Mitigation Measures & suggested treatments |
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| | | | | | <ul style="list-style-type: none"> -Salvage sound bricks for future use -Structural strengthening shall be approved by RSE -The voussoirs above original openings should be preserved In-situ if possible -Avoid damage of cove details on ceiling if possible -Precautionary measures during construction - Construction with care to avoid damage to historic fabric - For enlargement of original windows to form door openings, the original timber windows will be salvaged for reuse as far as possible. |
| C3 | <ul style="list-style-type: none"> -Repair and repaint the timber frames of windows -Restore the modified fanlights and windows due to later addition of building services. -Remove the later-added aluminum windows and fanlights and replace with timber framed windows compatible to the original windows. | CDE item C5 Internal windows | High | Beneficial Impact | <ul style="list-style-type: none"> - The internal windows have been altered to suit changing needs over the years and should be restored as far as practicable. -Minimum intervention for new operation needs or comply statutory requirements -Repair with care to avoid damage to historic fabric -Make reference to the existing unaltered ones to restore the original design of windows -De-rust, repair and repaint the metal grilles with care --Reversible on paint finishes. |

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| | -Restore all blocked windows (blocked by brickworks/ panels/ fixture/ furniture/ partitions) and painted glazing. | | | | |
| C4 | <ul style="list-style-type: none"> - Repair and repaint the historic paneled or glazed doors and fanlights. -Preserve original door openings with voussoirs | CDE item C6 Timber doors | High | Beneficial Impact | <ul style="list-style-type: none"> -Minimum intervention for new operation needs or comply with statutory requirements -Repair with care to avoid damage to historic fabric -Make reference to the existing unaltered ones for lost parts -If the door/fanlight has been replaced with modern style, it will be replaced by replica of historic door/fanlight if evidence of historic design is available or historic door/fanlight still remains |
| C5 | -Repair and re-paint the skirting as necessary. | CDE item C8 Skirting with paint | Moderate | Beneficial impact | <ul style="list-style-type: none"> -No restriction to the colour scheme on the skirting -Reversible on paint finishes. |
| C6 | <ul style="list-style-type: none"> -Replace all false ceilings -Record all original ceiling with cove or other kind of details. -Repair the coved and detailed ceiling as necessary. | CDE item C10 Ceiling with cove details | Moderate | Acceptable impact | <ul style="list-style-type: none"> - Install new false ceiling which it is reversible -Expose at least part of the original ceiling with cove or other kind of details for appreciation e.g. Armoury rooms |

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| C7 | <ul style="list-style-type: none"> -Remove one existing exposed fireplace and stacks on 2/F due to re-layout to meet essential operational needs -Preserve in-situ all other exposed fireplaces and stacks and timber top parts with corbel if possible | CDE item C9 Fireplaces, timber top with corbel and stacks | <p>High (Exposed fireplace)</p> <p>Moderate (Blocked fireplace)</p> <p>Low (Stack only)</p> | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Clean terrazzo and stone finishes without corrosive chemical. -De-rust, repair and repaint the cast iron and reinstate the timber parts. -Removal of exposed fire places should be avoided as far as possible -In case the exposed fireplace cannot be preserved in-situ, the parts should be salvaged and reused in restored fireplaces -Blocked fireplaces should be restored as far as practicable to compensate the lost of fireplaces and recovers the architectural significance of the building -Restoration of fireplaces should follow the design, materials and workmanship of the original fireplaces -Restored fireplace should be marked with year of restoration to differentiate from the original ones. |
| C8 | <ul style="list-style-type: none"> -Preserve, repair and repaint the metal balustrades and rails -Add metal handrails on the wall side to comply current statutory requirement on means of escape | CDE item C4 Staircases 1&4 | High | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Make reference to the existing ones for restored parts -Compatible and distinguishable design for the new metal handrails - Maintain the later-added top part of existing balustrade |

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| | <ul style="list-style-type: none"> -Preserve the cement sand/shanghai plaster finish of steps -Remove the later-added aluminum nosing and restore the original finishes | | | | |
| C9 | <ul style="list-style-type: none"> -Reinstate the direction of exit at the last flight to G/F which the direction of last flights to G/F from 1/F was altered in 1992 and with current statutory requirements on means of escape -Preserve, repair and repaint the timber balustrades and rails -Add metal handrails on the wall side. -Preserve in-situ the ladder together with the recesses on walls. | CDE item C4 Staircases 2&3 | High | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Conduct condition survey and structural survey. -Removal of infill slab shall be approved by RSE with precautionary measure such as settlement, tilting and vibration checkpoints to the existing staircase - Construction with care to avoid damage to historic fabric -Protect the existing stairs, timber balustrades and rails during works -Make reference to the existing ones for new parts of step finishes and balustrade even if the existing part may not be original -De-rust, repair and repaint the ladder -Compatible and distinguishable design for new doors at the original opening to Gloucester Road |
| C10 | -Demolish two side walls at | CDE item C1 | Low | Acceptable | -Photographic and cartographic surveys of the affected walls |

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| | G/F entrance to convert into exhibition area and security screening area to meet operation needs for security & circulation | Internal layout | | impact with mitigation measures | <p>before commencement of demolition works</p> <ul style="list-style-type: none"> -Conduct condition survey and structural survey. -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -Independent foundation & structure for new beams and columns -Precautionary measures during demolition and construction such as settlement, tilting and vibration checkpoints - Construction with care to avoid damage to historic fabric including cove details at ceiling -For the removal of fireplaces on the walls, refers to mitigation measures C7 above -Repair structure as necessary and replace damaged brickwork if beyond repair. -Structural strengthening shall be approved by RSE -All new structural elements should be suitably located to avoid imposing visual impact on the original window/door openings -New structural elements such as beams and columns added due to demolition of walls, shall be kept to the minimum in terms of members and sizes with appropriate finishes to reduce visual impact. |
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| C11 | -Demolish two side walls and enlarge wall opening at original Charge room on G/F as main lobby to meet operation needs for security & circulation | CDE item C1 General layout | Low | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Conduct condition survey and structural survey. -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -Structural strengthening shall be approved by RSE -Independent foundation & structure for new beams and columns -Precautionary measures during demolition and construction such as settlement, tilting and vibration checkpoint. -All new structural elements should be suitably located to avoid imposing visual impact on the original window/door openings -New structural elements such as beams and columns added due to demolition of walls, shall be kept to the minimum in terms of members and sizes with appropriate finishes to reduce visual impact. - Construction with care to avoid damage to historic fabric including cove details at ceiling -The proposed demolition of walls shall ensure that the historic rectangular layout of former report room (original charge room) remains readable |
| C12 | -Preserve Armoury Room for interpretation | CDE item C2 Armoury Room, G/F | High | Acceptable impact with | <ul style="list-style-type: none"> -Preserve and repair steel doors, shutters and service hatch for weapon/ opening in-situ |

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|-----|--|--|--|--|---|
| | | | | mitigation measures | <ul style="list-style-type: none"> -Photographic and cartographic surveys of the affected CDEs before commencement of works -Preserve in-situ the existing furniture and fixtures e.g. armoury shelves, signage |
| C13 | <ul style="list-style-type: none"> -Alter cells for new uses for Cells no. 2-5, original configuration should be preserved in-situ if possible -Preserve in-situ Cell no.1with its original configuration for interpretation | <p>CDE item C3 Cells no.1-3, G/F</p> <p>Cell no.4-5</p> | <p>High</p> <p>Moderate</p> | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> - Cells no. 1-3 are authentic and at least 1 cell should be kept intact for interpretation -Preserve in-situ the concrete benches, sanitary fitments for at least 1 cell. -Preserve in-situ metal windows, signages (attached or painted on wall), metal grilles, meshes, gates and the mouldings at the door opening for all cells -Preserve in-situ the metal grille, meshes and gate at controlled corridor -Photographic and cartographic surveys of the affected CDEs before commencement of works |
| C14 | <ul style="list-style-type: none"> -Demolish walls in between rooms to form 3 larger rooms on 1/F to meet operation needs | <p>CDE item C1</p> <ul style="list-style-type: none"> -Internal layout <p>CDE item C6</p> <ul style="list-style-type: none"> -Timber doors <p>CDE item C8</p> <ul style="list-style-type: none"> -Skirting <p>CDE item C9</p> | <p>Low</p> <p>High</p> <p>Moderate</p> <p>Moderate</p> | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Photographic and cartographic surveys of the affected walls before commencement of demolition works -Conduct condition survey and structural survey. -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -Structural strengthening shall be approved by RSE -Independent foundation & structure for new beams and |

| | | | | | |
|-----|--|--|--|--|--|
| | | <ul style="list-style-type: none"> -Fireplaces blocked CDE item C10 -Ceiling with cove details | Moderate | | <p>columns</p> <ul style="list-style-type: none"> -Precautionary measures during demolition and construction such as settlement, tilting and vibration check points. -For the removal of fireplaces on the walls, refers to mitigation measures C7 above -Minimize the size and members, and with appropriate finishes of new structural elements to reduce visual impact -All new structural elements should be suitably located to avoid imposing visual impact on the original window / door opening -Damage of cove details on ceiling shall be avoided as far as possible. |
| C15 | -Demolish walls in between rooms and corridor to form a larger room on 2/F to meet operation needs | <ul style="list-style-type: none"> CDE item C1 -Internal layout CDE item C6 -Timber doors CDE item C7 -Archway CDE item C8 -Skirting CDE item C9 -Fireplaces exposed | <p>Low</p> <p>High</p> <p>High</p> <p>Moderate</p> <p>High</p> | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -Photographic and cartographic surveys of the affected walls before commencement of demolition works -Conduct condition survey and structural survey. -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -Structural strengthening shall be approved by RSE -Independent foundation & structure for new beams and columns -Precautionary measures during demolition construction such as settlement, tilting and vibration check points. |

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| | | CDE item C10 -Ceiling with cove details | Moderate | | <ul style="list-style-type: none"> -For the removal of fireplaces on the walls, refers to mitigation measures C7 above -Minimize the size and numbers and with appropriate finishes of new structural elements to reduce visual impact -All new structural elements should be suitably located to avoid imposing visual impact on the original window/door openings - Construction with care to avoid damage to historic fabric including cove details at ceiling |
| C16 | <ul style="list-style-type: none"> -Preserve the old furniture and fixtures items related to the operation of OWCPs at <u>G/F</u> -Cell Area and corridor -Corridor outside Rm.G05 Resources Centre: -Landings of Stair 2 & Stair 3 -Armoury Room -Charge Room -Outside the hatch of the Charge Room nearby Common Lobby 2 | CDE item C11 Furniture and fixtures related to the operation of OWCPs | Moderate | Acceptable impact with mitigation measures | <ul style="list-style-type: none"> -elements related to the operation of the Police Station should be salvaged and displayed as far as possible -Made good and repair the artifacts -Display at appropriate location for interpretation <p>Items including but not limited to the followings:</p> <p>G/F <u>Cell Area and corridor:</u> notice plaque for “Notice to persons detained”, “Police” wooden boxes, tower hooks and the blackboard for recording prisoners’ information.</p> <p><u>Corridor outside Rm. G05 – Resources Centre:</u> directional sign for “Report Room” and “Notice” to officers and staff regarding the display of warrant card.</p> <p><u>Landings of Stair 2 & Stair 3 at G/F:</u> tower hooks.</p> <p><u>Armoury Room:</u> blackboard and shelves for rifle</p> |

| | | | | | |
|--|---|--|--|--|---|
| | <u>2/F</u> -Landings of Stair 1 & Stair 4 -Corridor outside Rm. 214 and Rm. 216 <u>3/F</u> -Corridor outside Rm.313 -Landings of Stair 4 | | | | <u>Charge Room:</u> blackboard, shelves for cuffs, revolvers and walkie talkie etc. <u>Outside the hatch of the Charge Room nearby Common Lobby 2:</u> 4 numbers of notice plaques with illustration on gun usage. <u>2/F Landings of Stair 1 and Stair 4:</u> “Notice” of officers and staff regarding the display of warrant card. <u>Corridor outside Rm. 214 and Rm. 216:</u> cloth hooks <u>3/F Corridor outside Rm. 313:</u> cloth hooks <u>Landings of Stair 4:</u> “Notice” to officers and staff regarding the display of warrant card. |
|--|---|--|--|--|---|

D. Surroundings

| Item No | Assessment items/ Proposed Works | Affected CDEs | Level of Significance | Impact Level | Mitigation Measures |
|---------|---|--|-----------------------|-------------------|--|
| D1 | -Preserve the turret and access staircase in-situ -no alteration to turret’s openings and staircase | CDE item D1 <u>Circular turret</u> with an access staircase at the boundary wall along Jaffe Road | Exceptional | Acceptable impact | -elements related to the operation of the Police Station -Made good and repair with care -Restricted access to avoid upgrading of balustrade which cannot comply with statutory requirements |
| D2 | -Enlarge fence wall opening | CDE item D2 | Moderate | Acceptable | -The enlargement of openings should not affect the fence wall |

| | | | | | |
|----|--|---|----------|-----------------------------------|--|
| | with new metal gate for vehicular access due to larger opening is required for turning of big vehicles | <u>Fence walls</u> and main gates along Jaffe Road | | Impact with mitigation measures | in front of the turret and access staircase -Photographic and cartographic surveys of the affected walls before commencement of works -Conduct condition survey and structural survey. -Removal of structural bricks shall be approved by RSE -Salvage sound bricks for future use -Structural strengthening shall be approved by RSE -Independent foundation & structure for metal gate -Precautionary measures during construction -Paint system is reversible |
| D3 | Reuse, repair and repaint the store room and flush water pump room adjacent to Turret | CDE item D3 Store room and flush water pump room adjacent to Turret | Neutral | Acceptable Impact | -Colour should be same as the new colour of the historic building |
| D4 | -Preserve in-situ guarding post numbers painted on wall in building, turret and fence wall | CDE item D4 Guarding post numbers painted on wall in building, turret and fence wall | Moderate | Beneficial Impact | -elements related to the operation of the Police Station -Made good and repaint to match existing as necessary |
| D5 | -Replace the gates at side lane with new one to meet new operation need | CDE item D5 Metal gates at side lanes | Low | Acceptable Impact with mitigation | -reversible construction (steel) -Compatible and distinguishable design -Precautionary measures during construction |

| | | | | measures | |
|----|--|--------------------------------|------|---|--|
| D6 | Enhance the landscape of courtyard area with new paving and design | CDE item A3 U-shaped layout | High | Acceptable Impact with mitigation measures | -Remain courtyard uncover -Compatible and distinguishable design for new paving materials and landscape furniture |

10.0 IMPLEMENTATION OF MITIGATION MEASURES

10.1 Responsible parties and staffing structure to implement the strategies

The responsible parties and staffing to implement the strategies are as follows:

1) Design and construction stage

Heritage consultant should be appointed to ensure the HIA report and the conservation policies stated can be executed appropriately and effectively. In case there is any significant change to the design, supplementary HIA with mitigation measures should be formulated for AMO's approval.

2) Document the change

Heritage consultant to record and document the change of building in the construction stage. The building management team of the operator will take over the role after handover of the building. Heritage consultant may be engaged to assist if necessary.

3) Interpretation

IOMed's management team will be responsible for the selection of interpretation material and the way to present the collections.

4) Operate and safeguard

Heritage consultant should work with IOMed's building management team in consultation with DEVB and AMO to lay down the Maintenance Guidelines / Manual before the handover and operation of the upgraded building. IOMed's building management team will be responsible for the daily operation after the handover.

10.2 Implementation Programme

The proposed upgrading works will be completed by end 2025. The potential impact to the fabric will be started by the commencement of construction works, which is scheduled in early 2024. The documentation of the change will be started prior (by Heritage Consultant), during and after the construction works (by Main Contractor). The preparation of interpretation work will be started during the detailed design stage until the completion of the project. Regular review (e.g. annual review) on the strategies to operate and safeguard the heritage should be carried out by the time of occupation of the building.

11.0 RECOMMENDATION

This HIA prepared by AGC Design Ltd. should form the basis for the planning, design and implementation of the works of the OWCPS as recommended. During operation period after completion of works, the HIA should be regularly reviewed and updated by IOMed with recommendation from Heritage Consultant whenever necessary. In case there is future development on this site, HIA should be carried out by heritage consultant.

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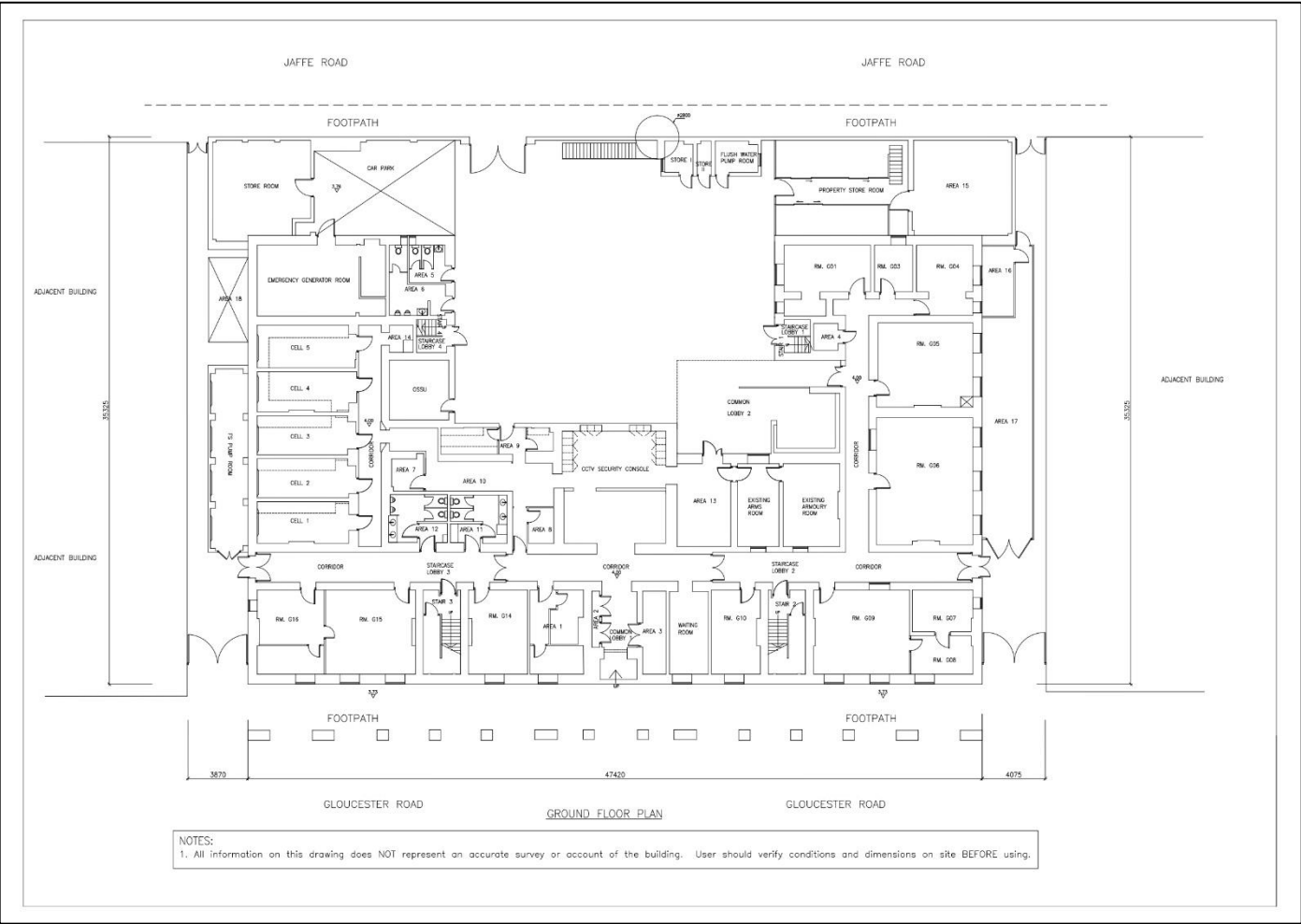
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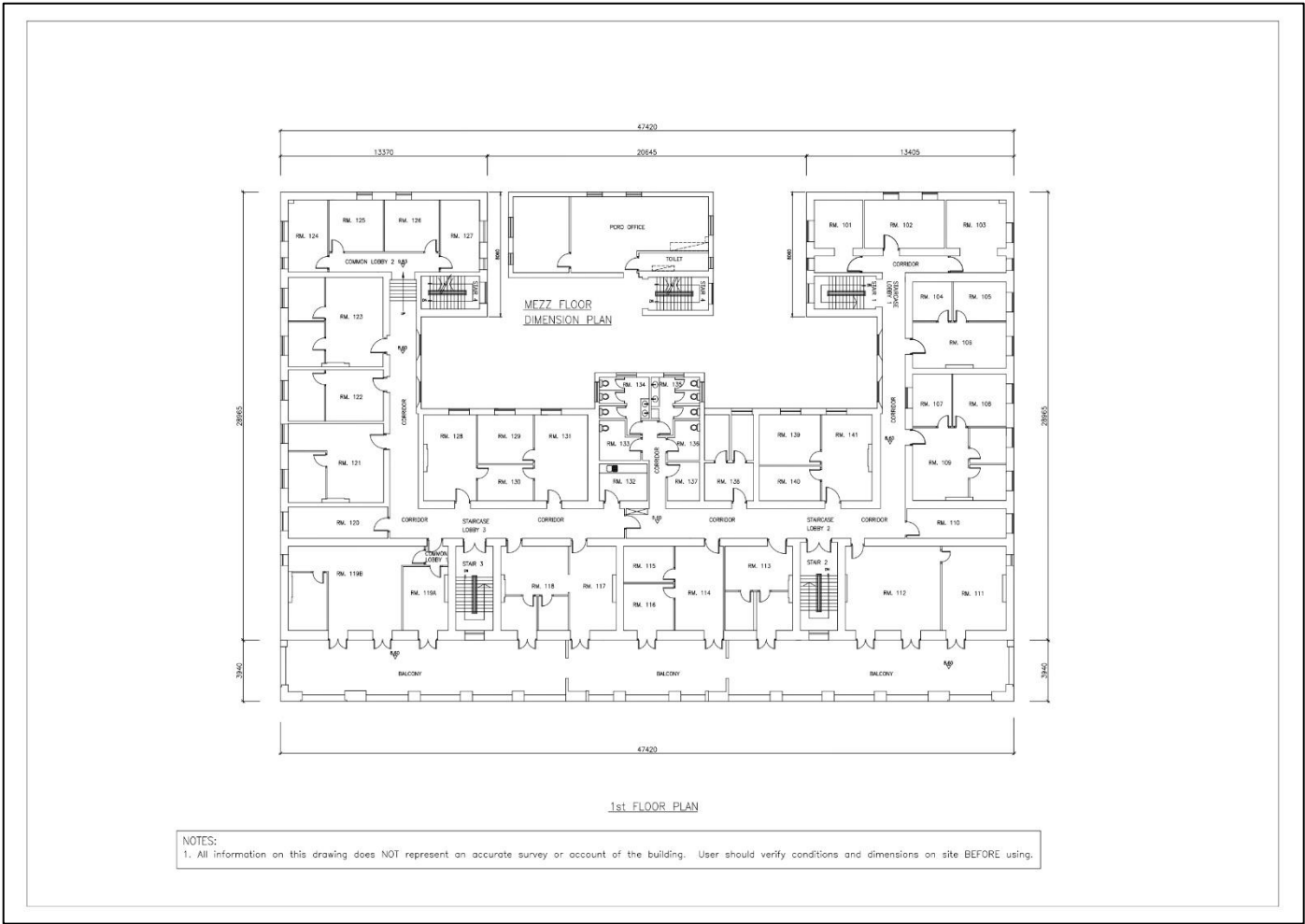
https://www.youtube.com/watch?v=9_7_-LW0Uw8

Appendix A - Existing Site Survey Plan

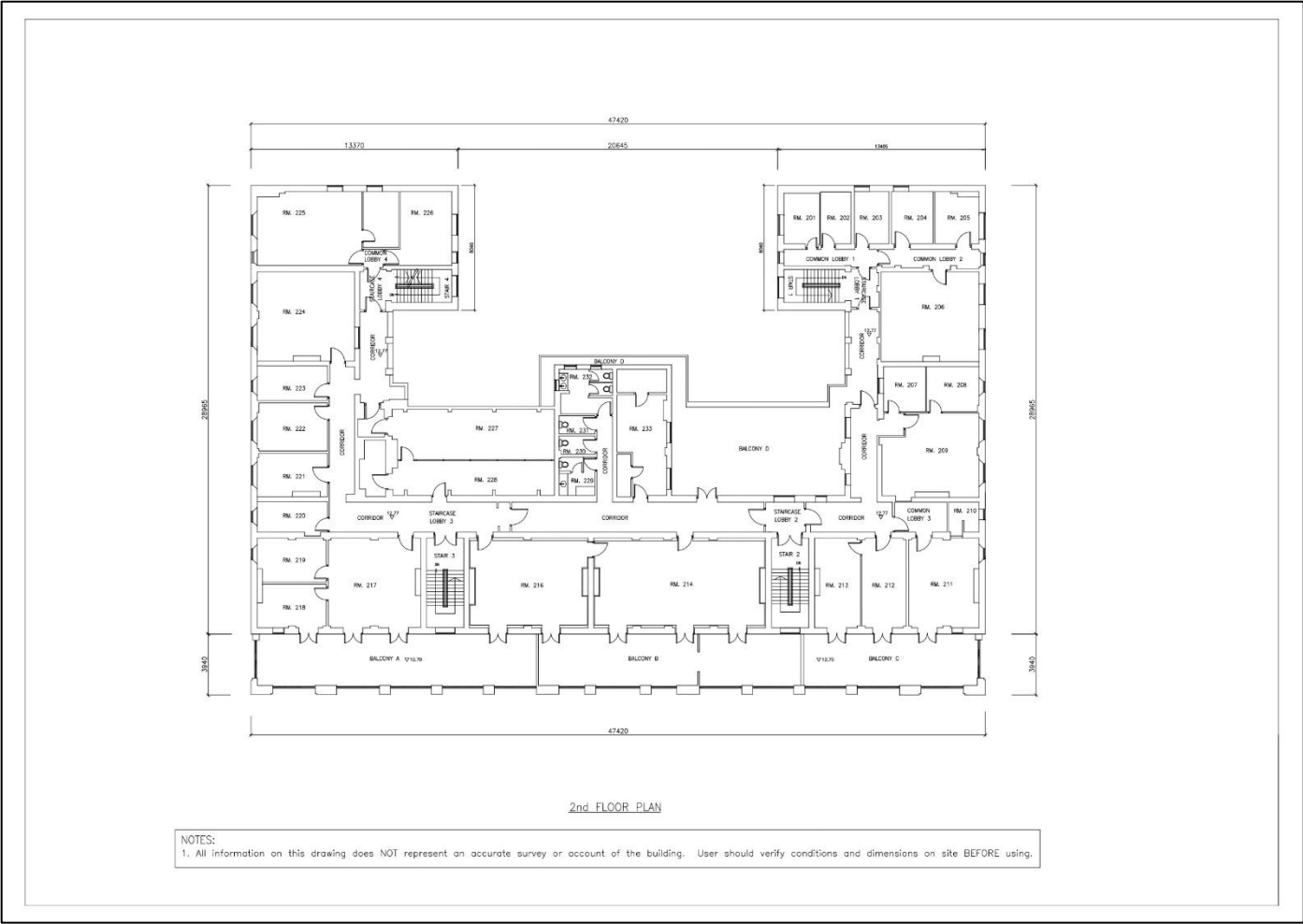
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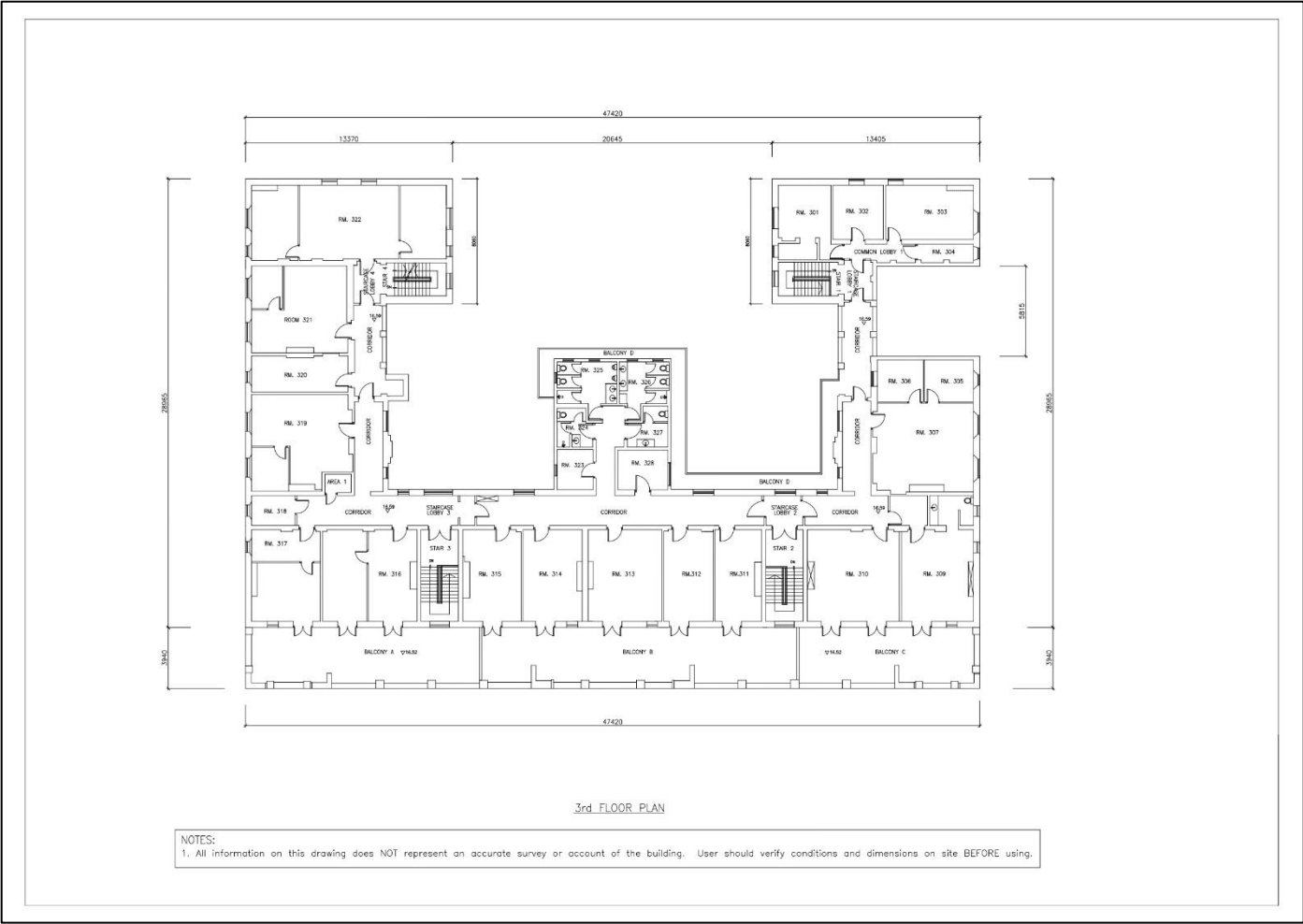
B. First Floor



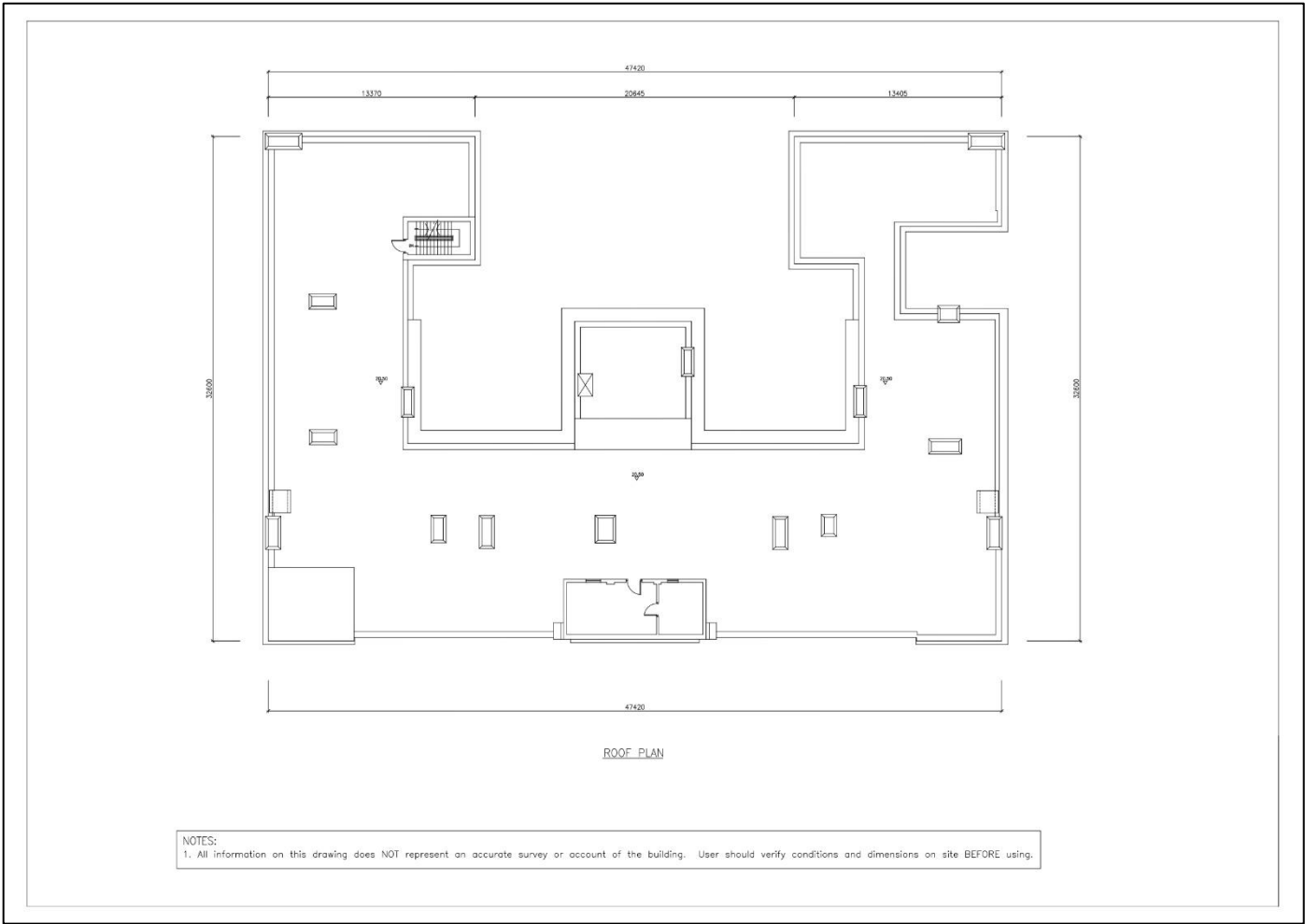
C. Second Floor



D. Third Floor



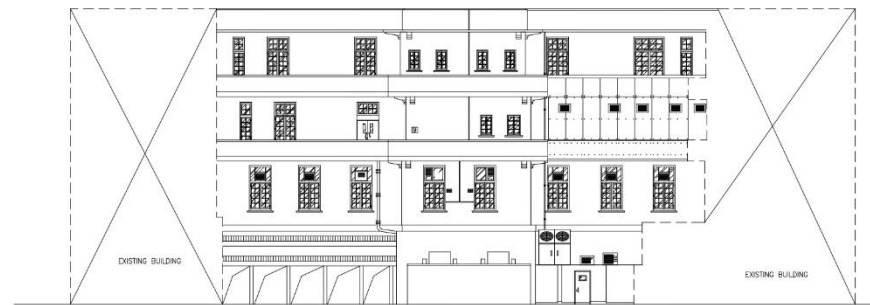
E. Roof



F. Elevation/ Section



FRONT ELEVATION

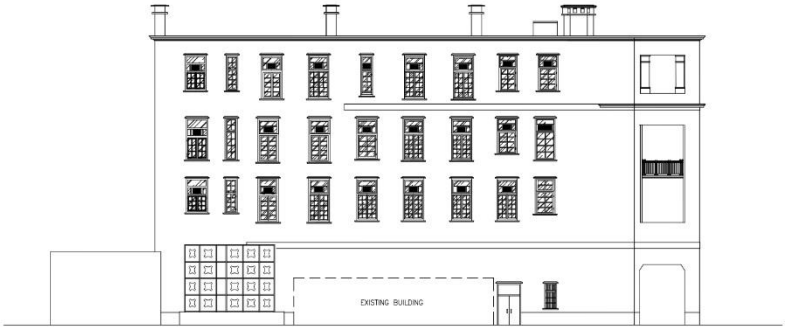


SIDE ELEVATION (COURTYARD FACADE OF CENTRAL WING)

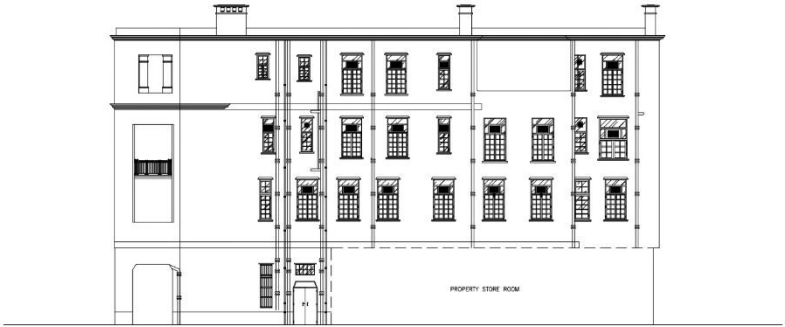
NOTES:

1. All information on this drawing does NOT represent an accurate survey or account of the building. User should verify conditions and dimensions on site BEFORE using.

G. Elevation/ Section



SIDE ELEVATION (EAST FACADE)



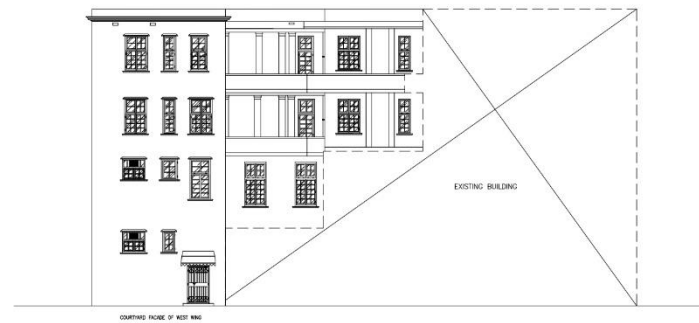
SIDE ELEVATION (WEST FACADE)

NOTES:
1. All information on this drawing does NOT represent an accurate survey or account of the building. User should verify conditions and dimensions on site BEFORE using.

H. Elevation/ Section



SIDE ELEVATION (COURTYARD FACADE OF EAST WING)

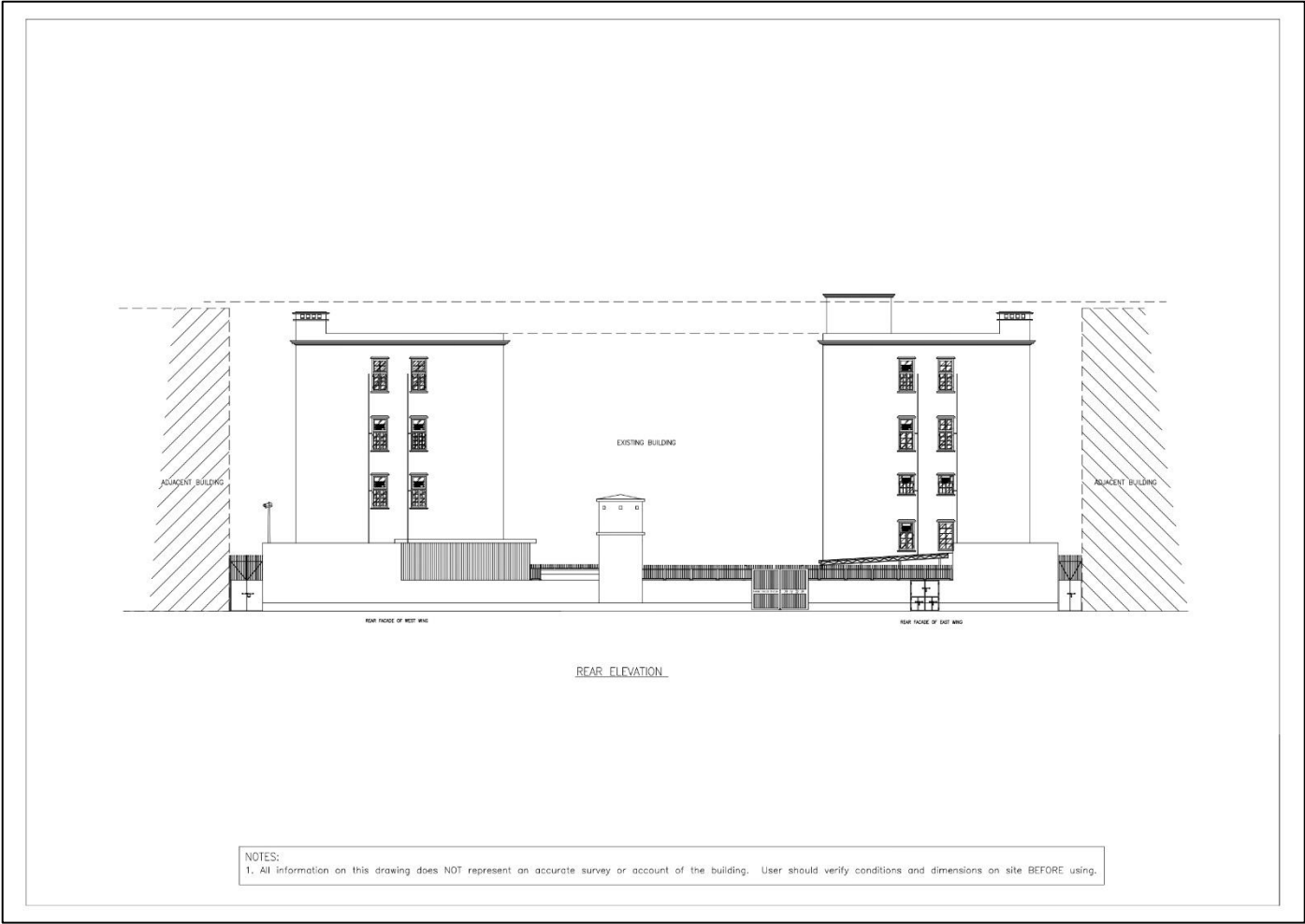


SIDE ELEVATION (COURTYARD FACADE OF WEST WING)

NOTES:

1. All information on this drawing does NOT represent an accurate survey or account of the building. User should verify conditions and dimensions on site BEFORE using.

I. Elevation/ Section



Appendix B – Proposed Design

A. Proposed Front Elevation



B. Proposed Rear Elevation



C. Proposed Glass Corridor at 2/F

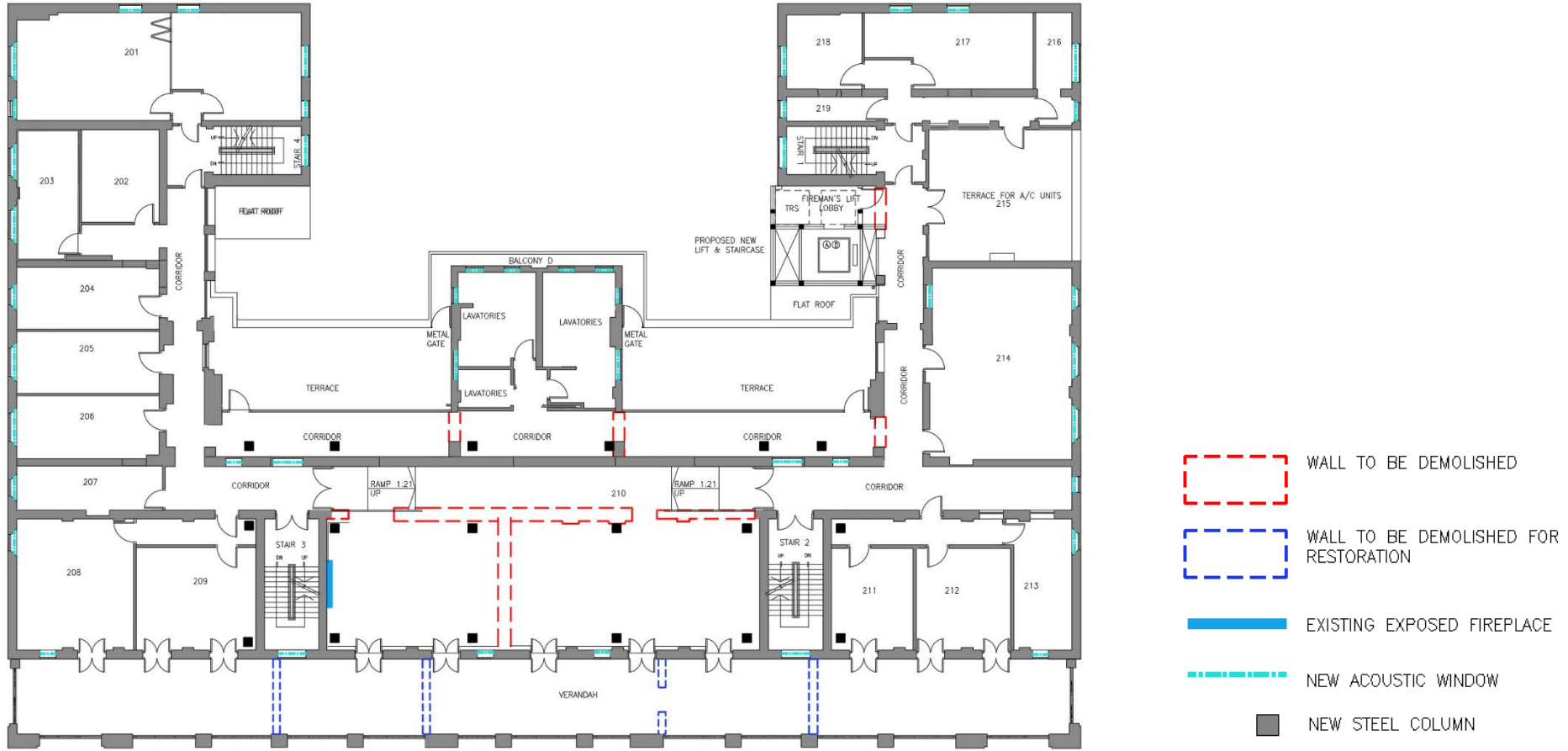




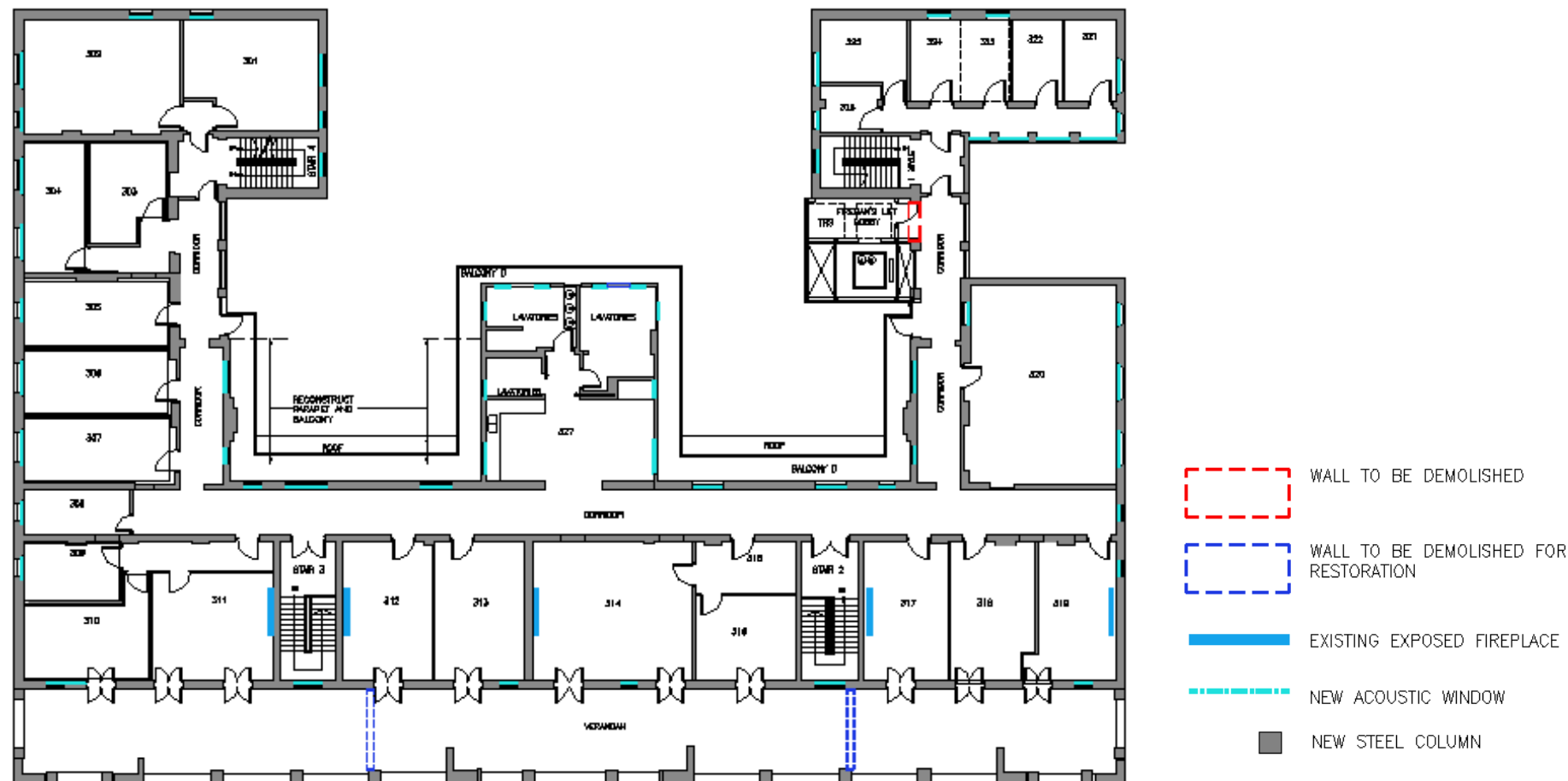
E. First Floor



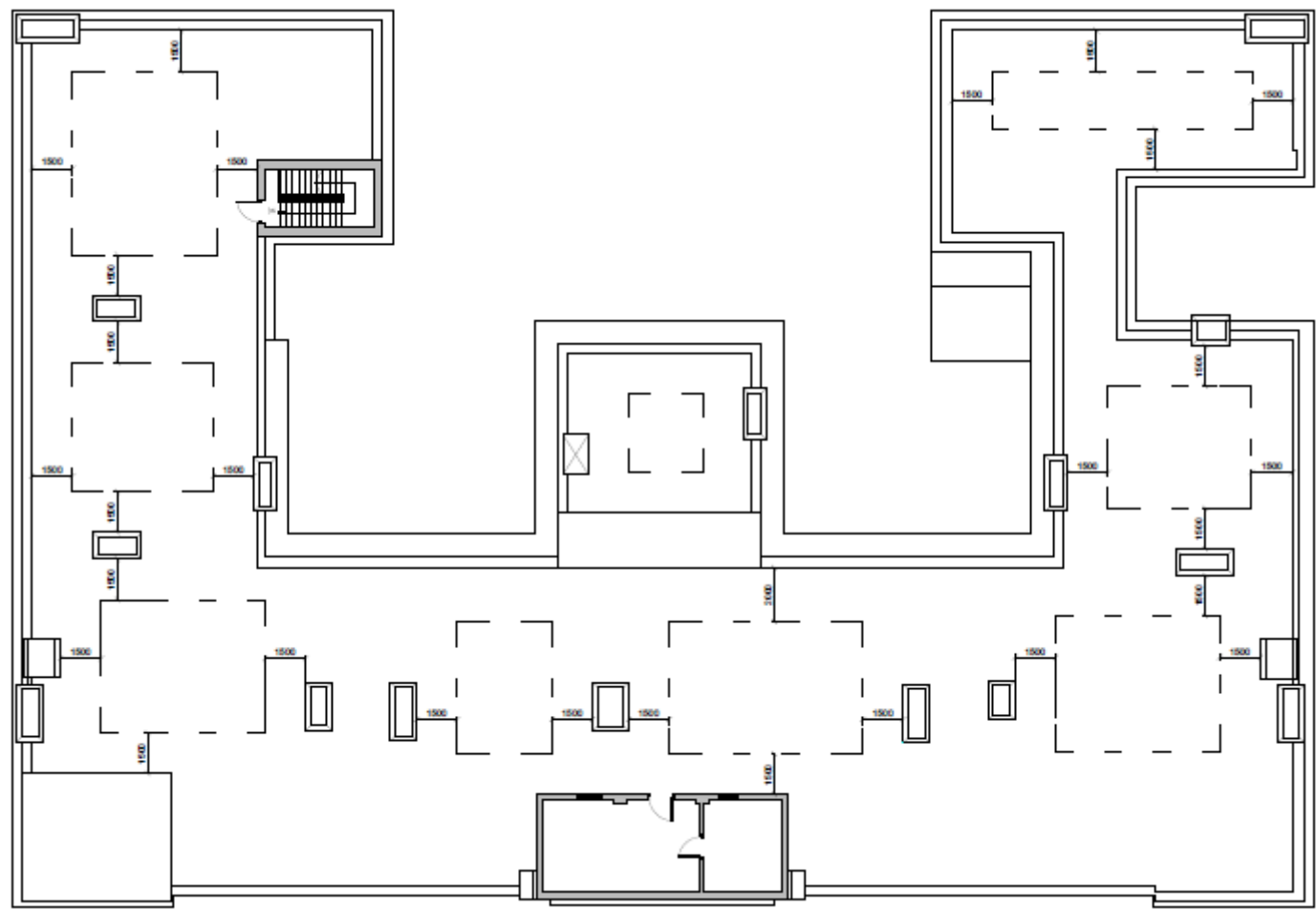
F. Second Floor



G. Third Floor



H. Roof



I. Elevation/ Section



J. Elevation/ Section



K. Elevation/ Section



INNER SIDE ELEVATION (COURTYARD FACADE OF WEST WING)



INNER SIDE ELEVATION (COURTYARD FACADE OF EAST WING)

L. Elevation/ Section

